

Item 6

DC/21/4004/ARM

Approval of reserved matters - the construction of 119 dwellings (including 34 affordable houses), associated works, landscaping and infrastructure for Phase E1, together with details of Green Infrastructure relating to the adjoining part of the southern boundary (Ipswich Road) SANG - on DC/20/1234/VOC.

Land to the south and east of Adastral Park



Introduction

Proposal

Approval of reserved matters - the construction of 119 dwellings (including 34 affordable houses), associated works, landscaping and infrastructure for Phase E1, together with details of Green Infrastructure relating to the adjoining part of the southern boundary (Ipswich Road) SANG - on DC/20/1234/VOC.

Reason for committee

In accordance with the scheme of delegation, the Head of Planning and Coastal Management has requested that the decision is to be made by members at the respective planning committee due to the significance of the Brightwell Lakes proposal.

This is the first reserved matters application for the design of housing and it is considered important to place this before planning committee. Future reserved matters application would not automatically be referred to committee unless triggered through the referral panel process.

Proposal

This reserved matters application relates to Condition 1 of the outline planning permission – ref. DC/20/1234/VOC.

A number of planning conditions within the outline permission require the submission of details as part of/or prior to a reserved matters submission. Those that are addressed within this submission are listed below:

- Condition 8 – Character banding plan
- Condition 10 – Public access connection
- Condition 11 – Access strategy
- Condition 12 – Landscaping details
- Condition 23 – Building materials
- Condition 24 – Boundary treatment plan
- Condition 25 – Recycling/bin storage plan
- Condition 28 – Arboricultural impact assessment and tree survey
- Condition 30 – Earthworks strategy plan
- Condition 41 – Details of estate roads and footpaths
- Condition 48 – Surface water drainage scheme
- Condition 60 – Noise attenuation scheme

Other pre-commencement and prior-to-occupation conditions, as listed on the decision notice, will be subject to separate discharge of conditions applications.

Planning history

The relevant planning history for the site includes the following:

Permitted applications

DC/17/1435/OUT: Original application

DC/18/4644/VOC: Variation of DC/17/1435/OUT

DC/20/1233/OUT: Alternative access road to that under DC/18/1644/VOC

DC/20/1234/VOC: Variation to DC/18/4644/VOC

DC/21/3434/DRC: Partial discharge of Condition(s) 18, 28b, 57 on application DC/17/1435/OUT

Applications pending consideration

DC/18/2959/DRC: Conditions: 6, 8, 9, 11, 14, 24, 28, 29, 30, 41, 43, 58, 61 of DC/18/2774/ARM and DC/18/2775/ARM

DC/18/2774/ARM: Site entrance and spine road

DC/18/2775/ARM: Green Infrastructure/SANG

DC/21/4002/ARM: Phase W1

DC/21/4003/ARM: Phase W1a

DC/21/4004/ARM: Phase E1

DC/21/4005/ARM: Phase E1a

Brightwell Lakes

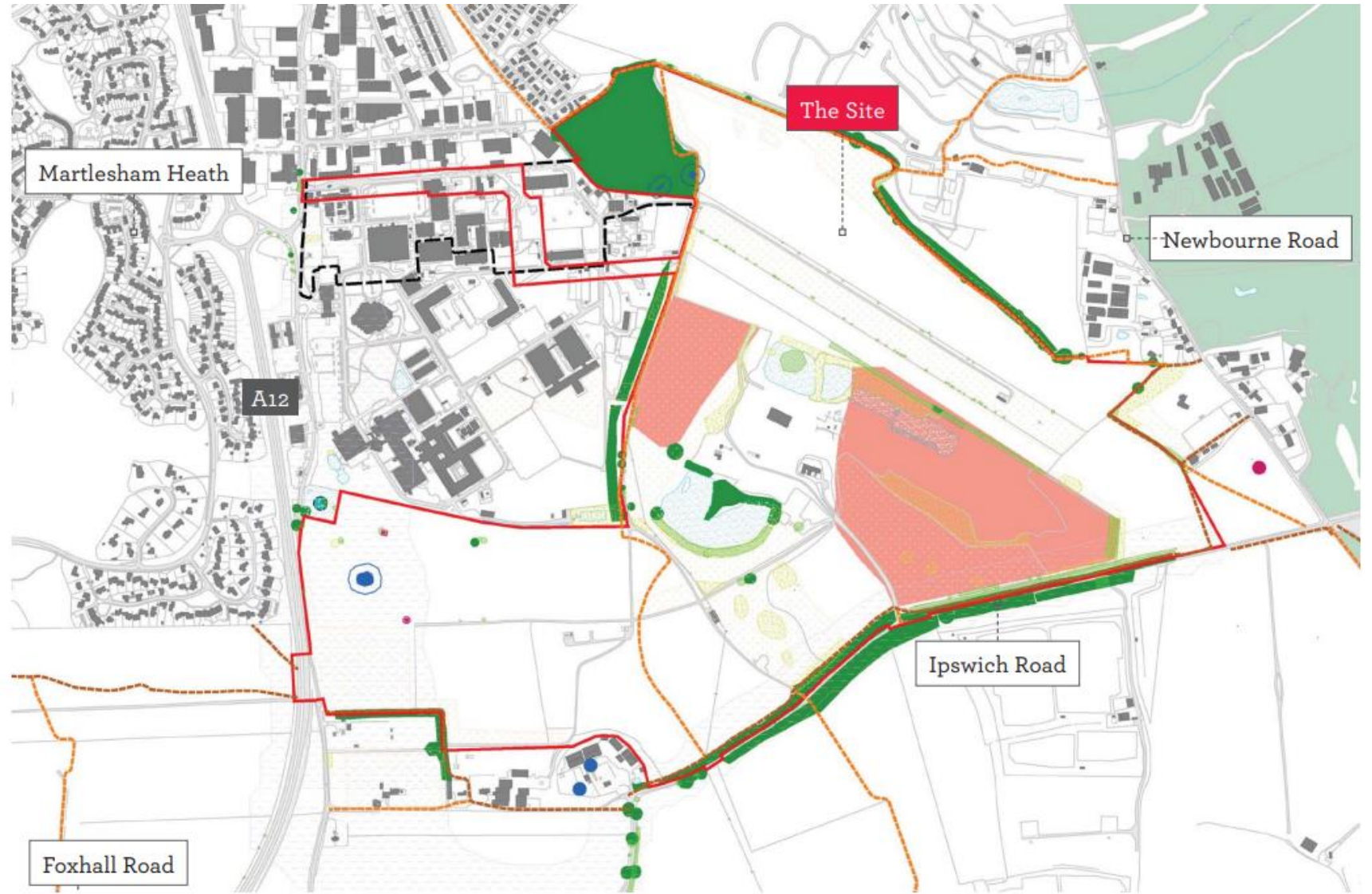
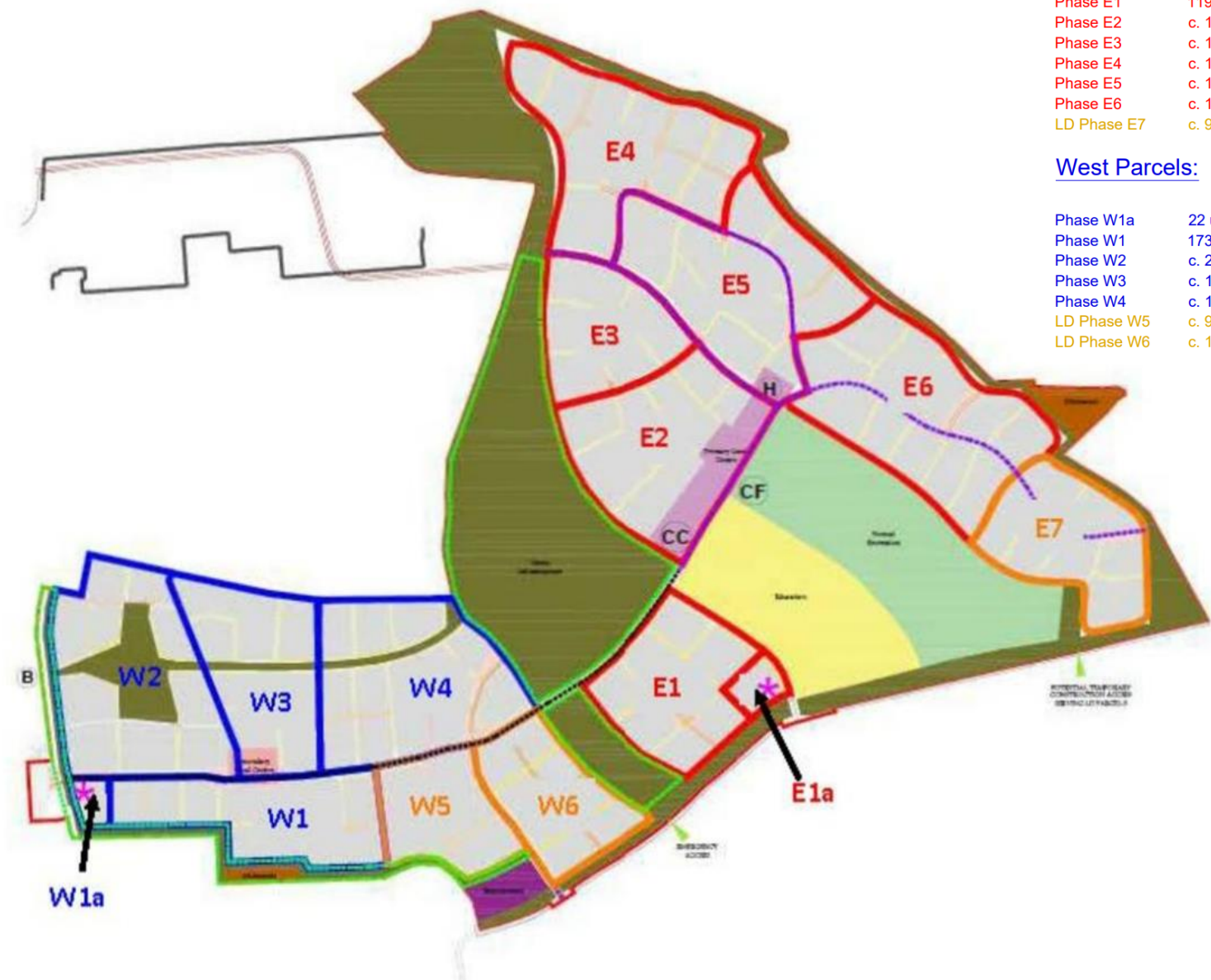


Fig 3. Outline Planning Application - Site Features Plan

Brightwell Lakes: Outline masterplan



Site context: residential phases



Site location – Phase E1



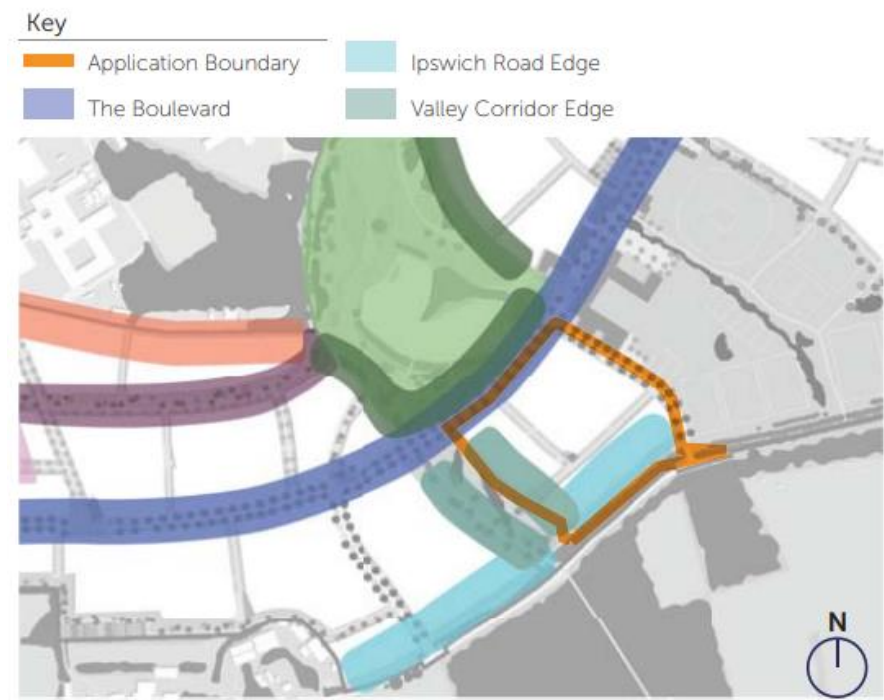
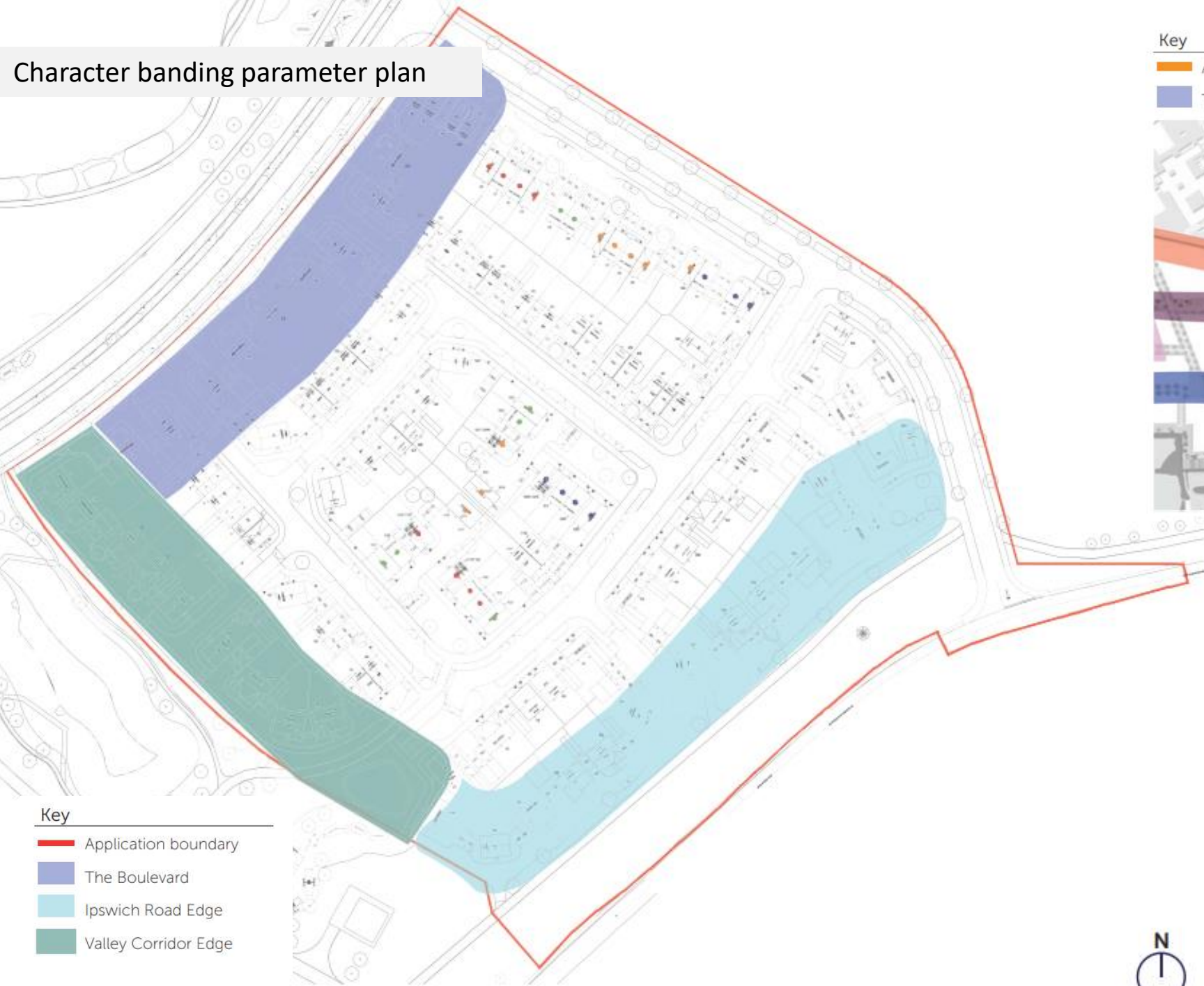
Site layout – Phase E1





- 1 All modes access from Spine Road and Ipswich Road
- 2 Proposed primary road with green verges and trees
- 3 Secondary roads accessing the core of the Site
- 4 Tertiary roads and private drives serving the development edges
- 5 Phase E1a
- 6 All-through school of OPA
- 7 Green corridor with footpath links and existing tree-belt / SANG
- 8 Green corridor of OPA and associated SUDS, footpaths and bridleway
- 9 Ipswich Road
- 10 Primary Road of OPA / The Boulevard / Tree lined avenue including SUDS (part of separate S38 application)
- 11 Main green infrastructure area and lake of OPA
- 12 Pocket open spaces to create green link with green infrastructure of the OPA
- 13 Frontages addressing primary roads through storey heights, enclosure and density
- 14 Looser, more sinuous frontages with 2 storey detached units along green corridors

Character banding parameter plan



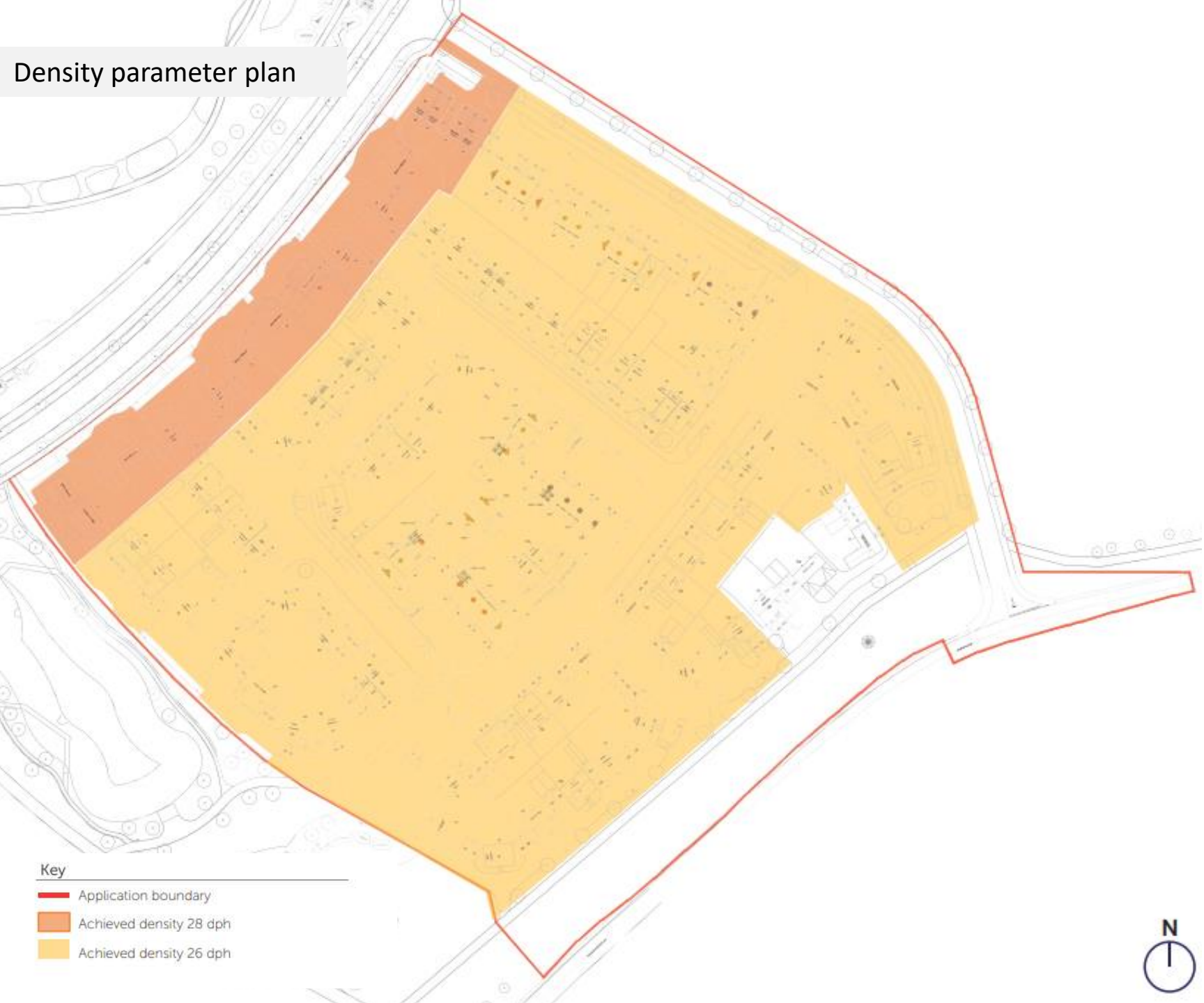
Land use parameter plan



- Key**
- Outline Application Boundary
 - Application Boundary
 - Residential development
 - Mixed Use Area - Local Centre
 - Allotments / Community Orchards
 - Suitable Accessible Natural Green Space (SANG)
 - Noise attenuation / Landscape Buffer
 - Land required to deliver access



Density parameter plan



- Key**
- Outline Application Boundary
 - Application Boundary
 - High Density (35-50 dph)
 - Medium Density (30-35 dph)
 - Low Density (20-30 dph)

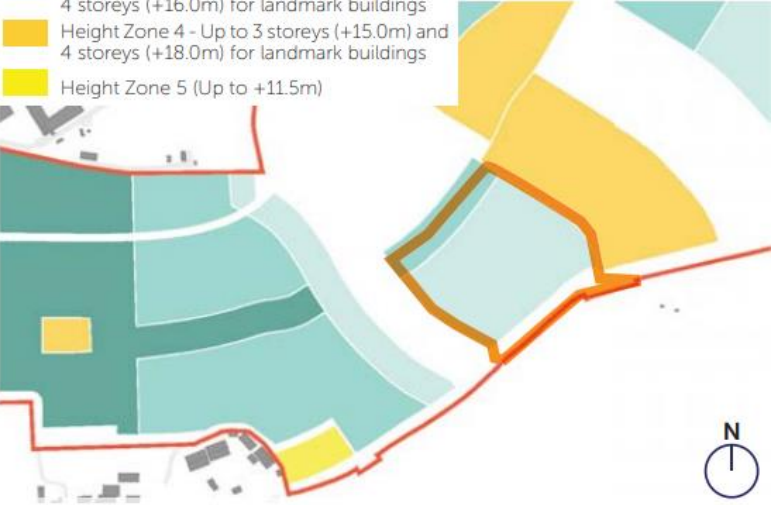


Building heights parameter plan

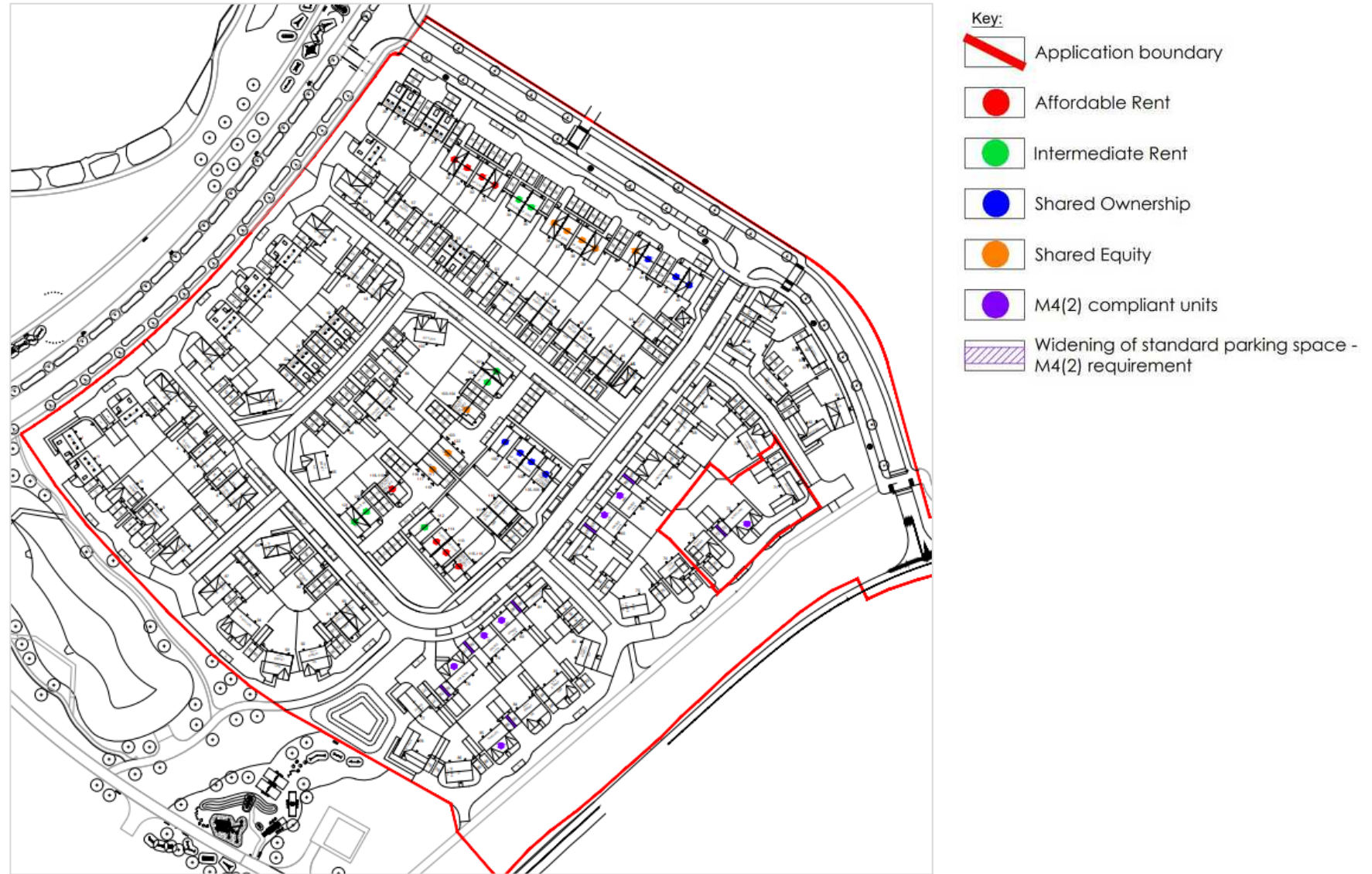


- Key
- Application boundary
 - 1 storey
 - 2 storey
 - 2.5 storey
 - Height zone 2 of OPA
 - Height zone 1 of OPA

- Key
- Outline Application Boundary
 - Application Boundary
 - Height Zone 1 - Up to 2 storeys (+11.0m)
 - Height Zone 2 - Up to 2.5 storeys (+12.5m)
 - Height Zone 3 - Up to 3 storeys (+14.0m) and 4 storeys (+16.0m) for landmark buildings
 - Height Zone 4 - Up to 3 storeys (+15.0m) and 4 storeys (+18.0m) for landmark buildings
 - Height Zone 5 (Up to +11.5m)



Planning layout



Housing mix and tenure



Housing mix

Given the spatial extent of the Brightwell Lakes proposal, and the manner in which the development will come forward in phases, it was agreed that it is appropriate to consider the proposed housing mix in the context of the wider site as a whole, rather than calculated per individual parcel.

Due to varying site sizes, characteristics, uses and constraints, it is acknowledged an individual parcel may not necessarily achieve the required housing mix within its defined site.

The delivery of the required housing provision will be assessed collectively throughout the development of each phase.

Housing mix

For context, the proposed mix across all four parcels (E1, E1a, W1 and W1a), which are pending consideration is as follows:

Table 3: Overall housing mix across Phases E1, E1a, W1 and W1a

Mix	Parcels W1 & W1a		Parcels E1 & E1a		Total	
	# of units	%	# of units	%	# of units	%
Private						
1 bed	3	2.6%	0	-	3	1.5%
2 bed	13	11.3%	6	6.8%	19	9.3%
3 bed	93	80.9%	34	38.6%	127	62.6%
4 bed	6	5.2%	36	41%	42	20.7%
5 bed	0	-	12	13.6%	12	5.9%
Affordable						
1 bed	38	47.5%	8	23.5%	46	40.3%
2 bed	42	52.5%	2	5.9%	44	38.6%
3 bed	0	-	14	41.2%	14	12.3%
4 bed	0	-	10	29.4%	10	8.8%
Overall – 317 dwellings (114 affordable [35.9%])						
1 bed	41	21%	8	6.6%	49	15.4%
2 bed	55	28.2%	8	6.6%	63	19.9%
3 bed	93	47.7%	48	39.3%	141	44.5%
4 bed	6	3.1%	46	37.7%	52	16.4%
5 bed	0	-	12	9.8%	12	3.8%
Total	195		122		317	

Affordable housing

As dictated by the s106 legal agreement, the affordable housing provision for the Brightwell Lakes development is set to twenty five percent (25%). This proportion is to be addressed across the whole site and there will be reserved matters policies which provide greater and lesser quantities and proportions dictated by the characteristics of that parcel. It will remain important closely monitor the accumulating mix as the site progresses.

Of the total provision for this parcel, 34 dwellings (28.6%) would be affordable tenure.


Table 2: Proposed housing provisions against percentage of district wide need

Phase E1 housing provisions against policy		
Number of bedrooms	Percentage of district wide need	Percentage proposed
1	12%	6.7% (8 units)
2	29%	6.7% (8 units)
3	25%	40.4% (48 units)
4+	33%	46.2% (55 units)

Storey height




Key:

 Application boundary

 1 Storey

 2 Storey

 2.5 Storey

 3 Storey

Materials plan



Key:

- Application boundary
- Weinerberger Cedarwood Multi or similar
- Weinerberger Cedarwood Multi or similar feature brick
- Forterra Atherstone Red or similar
- Forterra Clumer Red or similar feature brick
- Ibstock Leicester Multi Cream Stock brick or similar
- Ibstock Hardwicke Minster Cream Blend or similar feature brick
- Camtech Allwhite Bromo or similar
- Redland Cambrian Slate Grey or similar
- Fenland Pantile Farmhouse Red or similar
- Sandtoft Rivius Antique Grey or similk
- Sandtoft Rivius Antique Grey or similar
- Off-white Render Charr
- Horizontal Grey boarding
- Off-white Render Polar
- Vertical Grey boarding

Boundary treatment plan



- Key:
- Application boundary
 - 1.8m Light grey stained closed board fence
 - 1.8m Dark grey stained closed board fence
 - 1.8m Brick wall
 - 450mm Timber knee rail

Western edge fronting the SANG



1
NB51 O

11
NB51 A

10
EMG43 O

9
EMG43 A

8
EMT41 O



87
EMT41 A

94
NA51 A

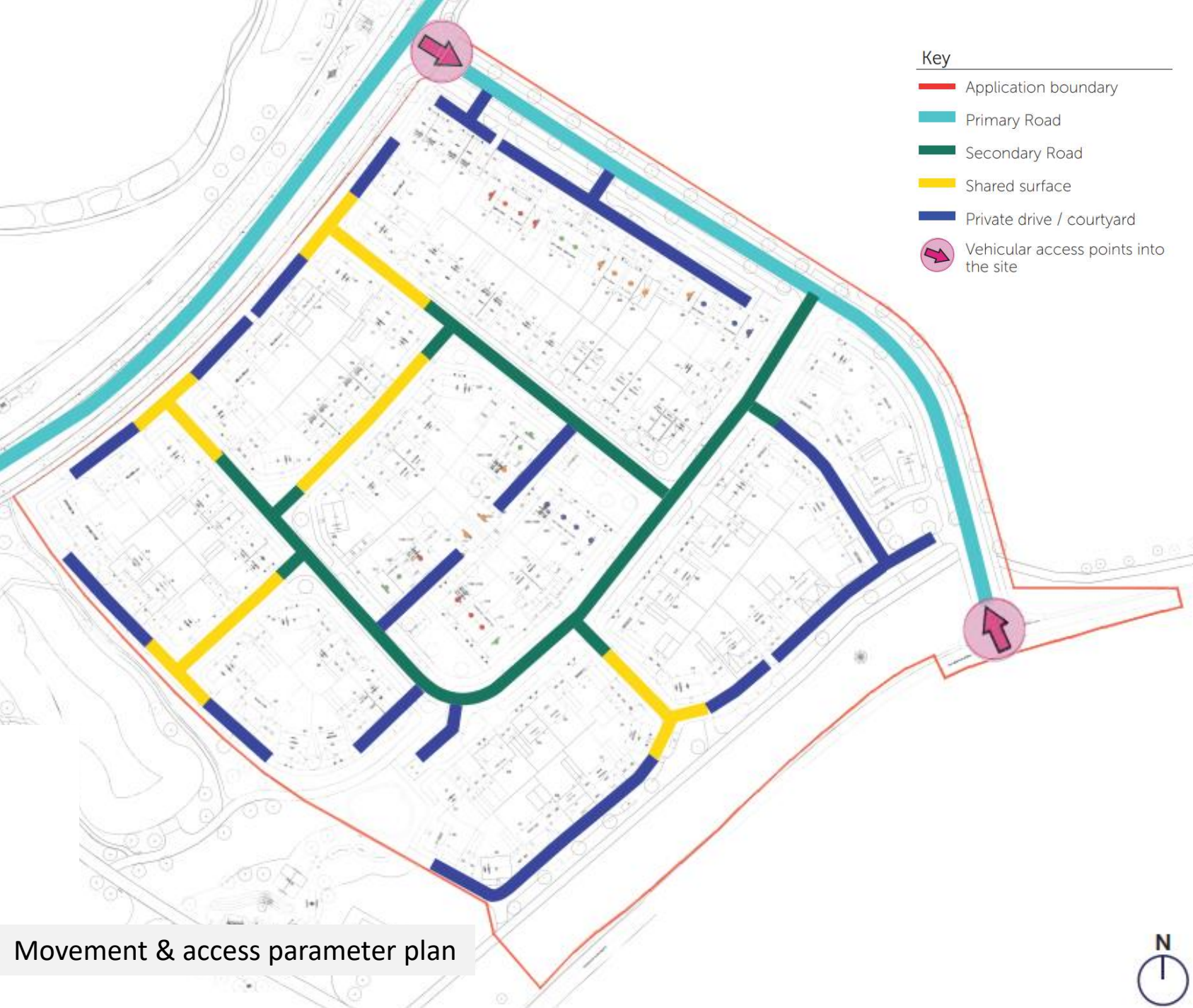
93
EMA47 O

92
EMA47 A



Landscape masterplan













Movement & access parameter plan

Parking plan

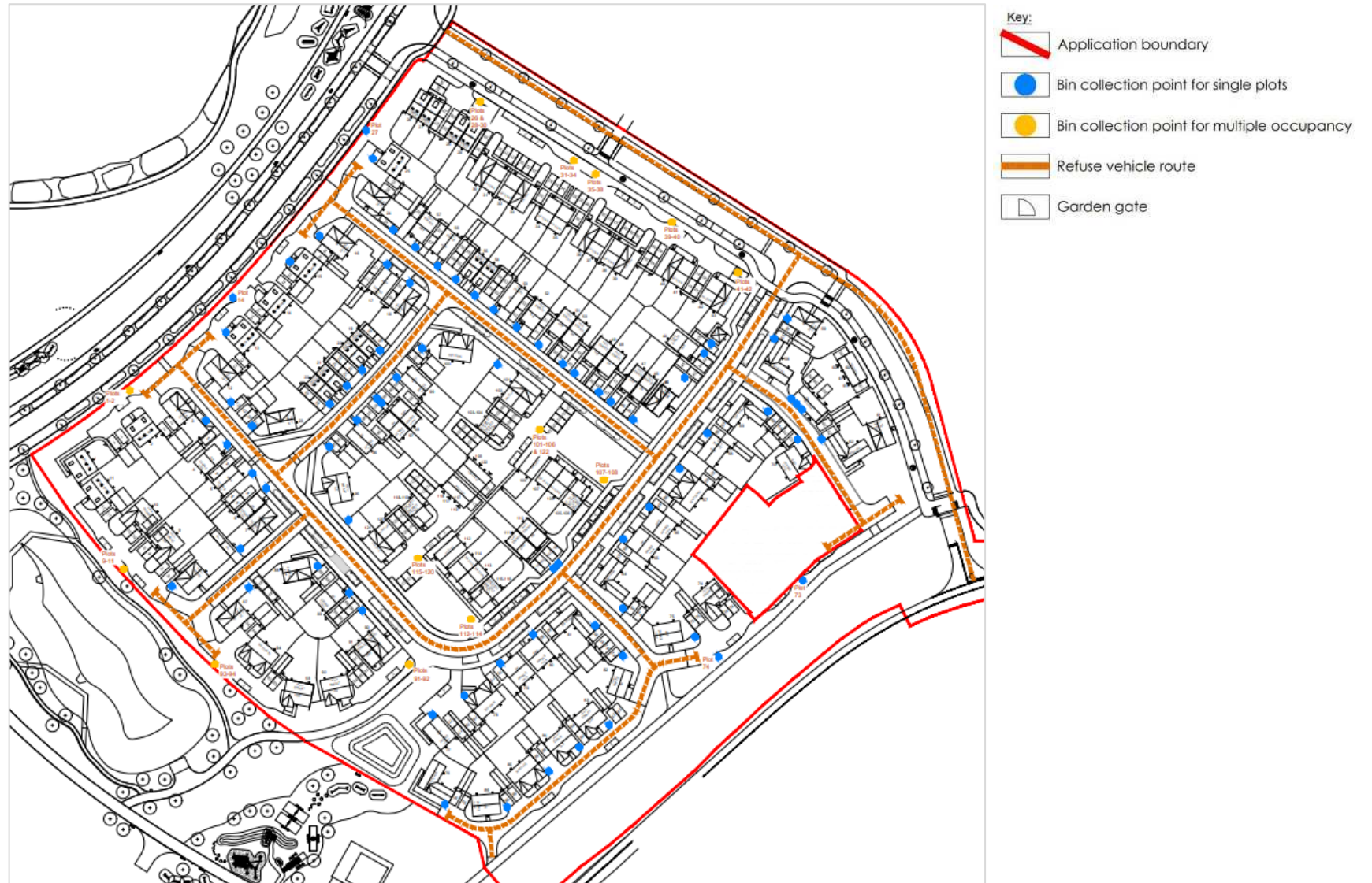


- Key:
-  Application boundary
 -  Secure Cycle Shed within Rear Garden
 -  Cycle Storage within Garage
 -  Cycle Storage within Apartment
 -  Garages
 -  Allocated Spaces
 -  Visitors Spaces
 -  Carport

Highways adoption plan



Refuse strategy



Connectivity plan



ROUTE 1 - PEDESTRIAN / CYCLE
(WILL BE ACCESSIBLE PRIOR TO
THE OCCUPATION OF ANY DWELLING SERVED OFF
IPSWICH ROAD).

ROUTE 2 - PEDESTRIAN / CYCLE
(WILL BE ACCESSIBLE PRIOR TO THE OCCUPATION
OF ANY DWELLING ON IPSWICH ROAD).

ROUTE 3 - VEHICULAR / PEDESTRIAN / CYCLE ROUTE.
(WILL BE ACCESSIBLE PRIOR TO THE OCCUPATION
OF ANY DWELLING ON IPSWICH ROAD).

NOTES.

- 1) ROUTE 3 WILL BE AVAILABLE AT ALL TIMES
FOLLOWING OCCUPATION OF THE FIRST DWELLING.
- 2) WE WILL ENSURE THAT AT LEAST ONE OF ROUTE 1
OR 2 IS AVAILABLE AT ALL TIMES.
- 3) ROUTE 1 & 2 WILL NOT BE AVAILABLE IN THEIR FINAL
FORM FROM FIRST OCCUPATION. HOWEVER, BOTH
WILL BE FINISHED IN A SUITABLE TEMPORARY
SURFACE TO ENSURE ACCESSIBILITY.

Surface water drainage plan



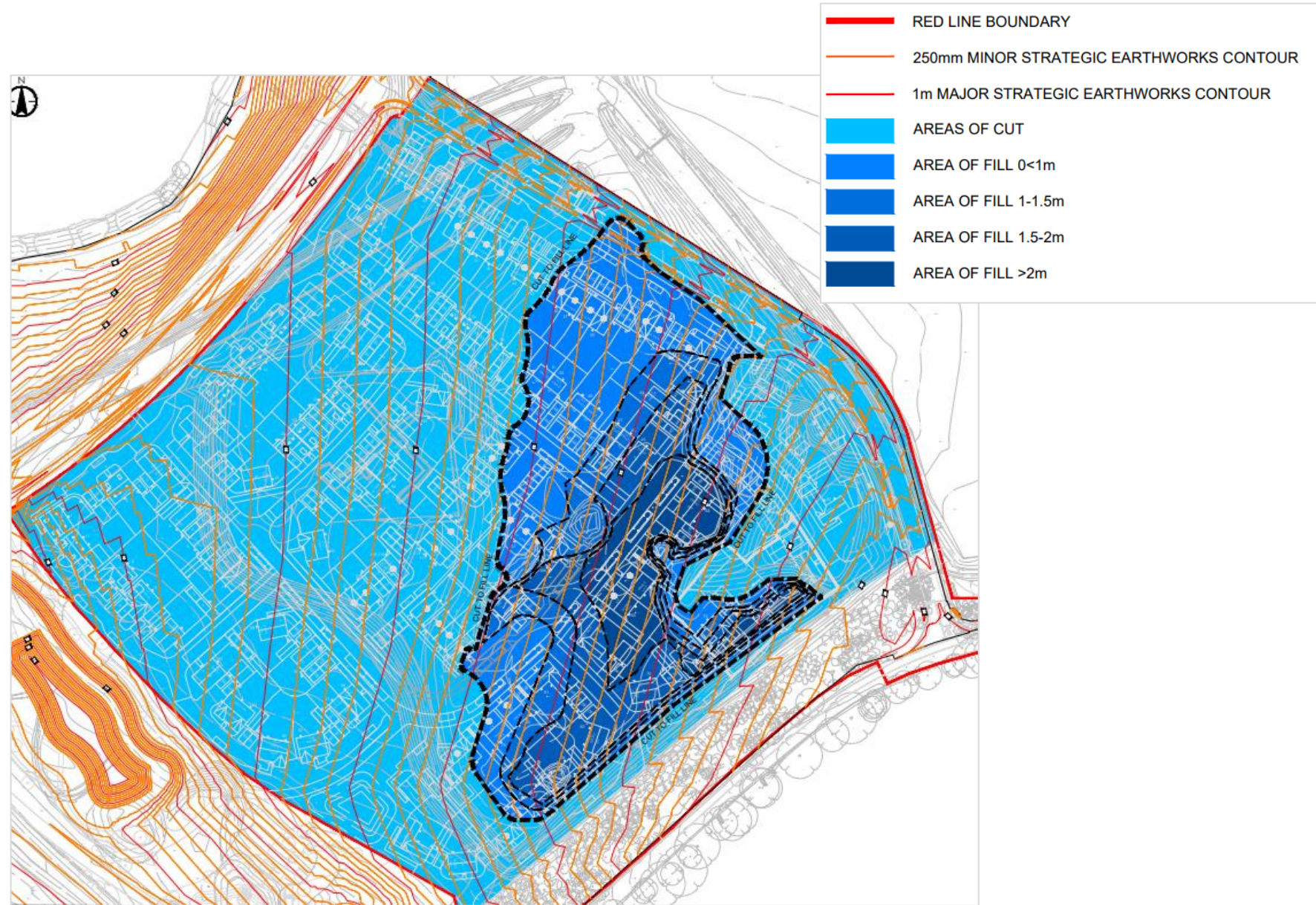
Surface water catchment plan

HEALTH, SAFETY & ENVIRONMENTAL NOTES		
1	IDENTIFY THE LOCATION OF HAZARD OR RISK FOR WORK INFORMATION REFER TO RISK MANAGEMENT AND DESCRIPTION BELOW	
NOT TO THE HAZARD AND RISK NORMALLY ASSOCIATED WITH THE WORK DESCRIPTION DESCRIBED ON THIS DRAWING, THE FOLLOWING MEASURES SHOULD BE CONSIDERED:		
INSTRUCTIONS: A) IN EMERGENCY / MAINTENANCE, B) COMMUNICATING / RESOLUTION		
NO	RISK DESCRIPTION	RISK RATING
01	GROUND CONTAMINATION RISK: EXISTING UNDEVELOPED SITE AREAS OF THE SITE ARE SUSPECTED FOR CONTAMINATION TO BE REPORTED IMMEDIATELY IF FOUND	C200
02	HAZARDOUS SUBSTANCE: PRIOR TO BEGINNING WORK, CONTRACTOR TO CHECK FOR HAZARDOUS SUBSTANCES AND REPORT TO PROJECT MANAGER	C200
03	UNEMPLOYED CRIMINALS: SITE FORMER PART OF FORMER MILITARY AIR BASE. CONTRACTOR TO ASSESS AND MANAGE RISK PRIOR TO UNOCCUPIED WORKING	C200



- DRAINAGE CONTRIBUTING AREAS**
- HIGHWAY RUNOFF DRAINING TO HIGHWAY INFILTRATION FEATURES / SWALES.**
 - PRIVATE DRAINAGE DISCHARGING LOCALLY. ROOFS TO DRAIN VIA HOUSE SOAKAWAYS. PRIVATE DRIVES AND PARKING TO DRAIN VIA PERMEABLE PAVING AND / OR HOUSE SOAKAWAYS, DEPENDING ON WHETHER TANKED OR NON-TANKED PAVING USED.**
 - PRIVATE DRAINAGE DISCHARGING TO INFILTRATION TRENCH. ROOF RUNOFF, PRIVATE PARKING AND PRIVATE DRIVES TO DRAIN TO THE INFILTRATION TRENCH IN THE PERMEABLE PAVING.**
 - ADOPTABLE DRAINAGE SYSTEM TO CATER FOR ROOF, PRIVATE DRIVE / PARKING AND HIGHWAY RUNOFF. RUNOFF TO BE CONVEYED INTO INFILTRATION BASIN VIA SWALE-PIPE SYSTEM. ADDITIONAL INFILTRATION IN SWALE TRENCHES SUBJECT TO FILL DEPTH.**

Proposed earthworks





15.04.21 First Issue NB NB

Rev | Date | Description | Drawn | Chkd

Client

Taylor Wimpey East Anglia

Project

Land South & East of Adastral Park

Martlesham (Brightwell Lakes)

Drawing Title

Planning Layout - Site Layout Overlay

with Contours from Earthworks Strategy

Drawing No. PL-01 Job Ref. 21.2013

Scale @ A0 1:1000 Revision

Scale Bar 0 10 20 30m

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Conclusion

This reserved matters proposal has been informed by the parameters established within the outline planning permission. The suite of submitted material demonstrates that Phase E1 of the development promotes a high-quality design that responds positively to the characteristics defined by established parameter and character plans. The scale, appearance, and layout of the proposal is considered policy compliant, with the aim of providing a well-integrated and sensitively designed scheme, in terms of connectivity and green infrastructure.

Whilst there are still outstanding comments to address, the fundamental component of the submitted scheme is considered acceptable.

Planning considerations

The following considerations have been addressed within the reporting:

- Condition 1 - Details of appearance, landscaping, layout and scale
- Condition 8 – Character banding plan
- Condition 12 – Landscaping details
- Condition 23 – Building materials
- Condition 24 – Boundary treatment plan
Supported by ESC design and conservation team
- Condition 10 – Public access connection
- Condition 11 – Access strategy
- Condition 25 – Recycling/bin storage plan
- Condition 41 – Details of estate roads and footpaths
Awaiting updated response from highways authority
- Condition 28 – Arboricultural impact assessment and tree survey
No objection raised by ESC arboricultural and landscape team
- Condition 30 – Earthworks strategy plan
- Condition 48 – Surface water drainage scheme
No objection from the LLFA, subject to conditions – awaiting response from ESC EP
- Condition 60 – Noise attenuation scheme
Awaiting response from ESC EP – further information previously requested

Recommendation

Authority to approve subject to no new material issues being raised during the latest re-consultation period, all outstanding statutory holding objections and other matters being resolved, and agreement of conditions.

Conditions and informatives to be agreed upon receipt of all consultation responses. However, based on the extent of conditions on the outline consent, conditions applied to the reserved matters application should be minimal.

End of presentation