

Item : 6

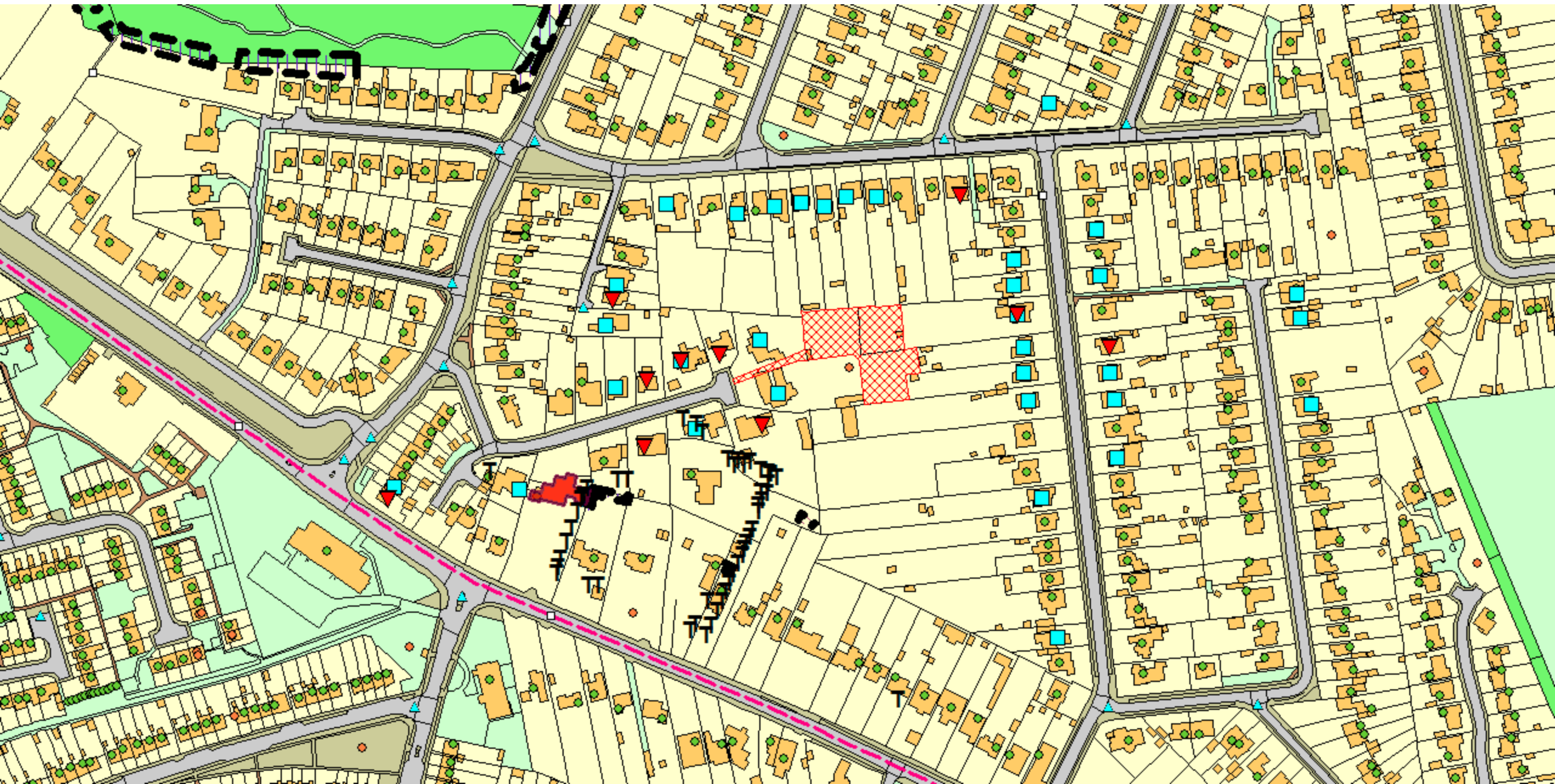
DC/21/5044/FUL

Construction of two detached dwellings and
all associated works.

9 Glebe Close, Lowestoft, NR32 4NU



Site Location Plan



Aerial Photograph



Photographs



Photographs



Photographs



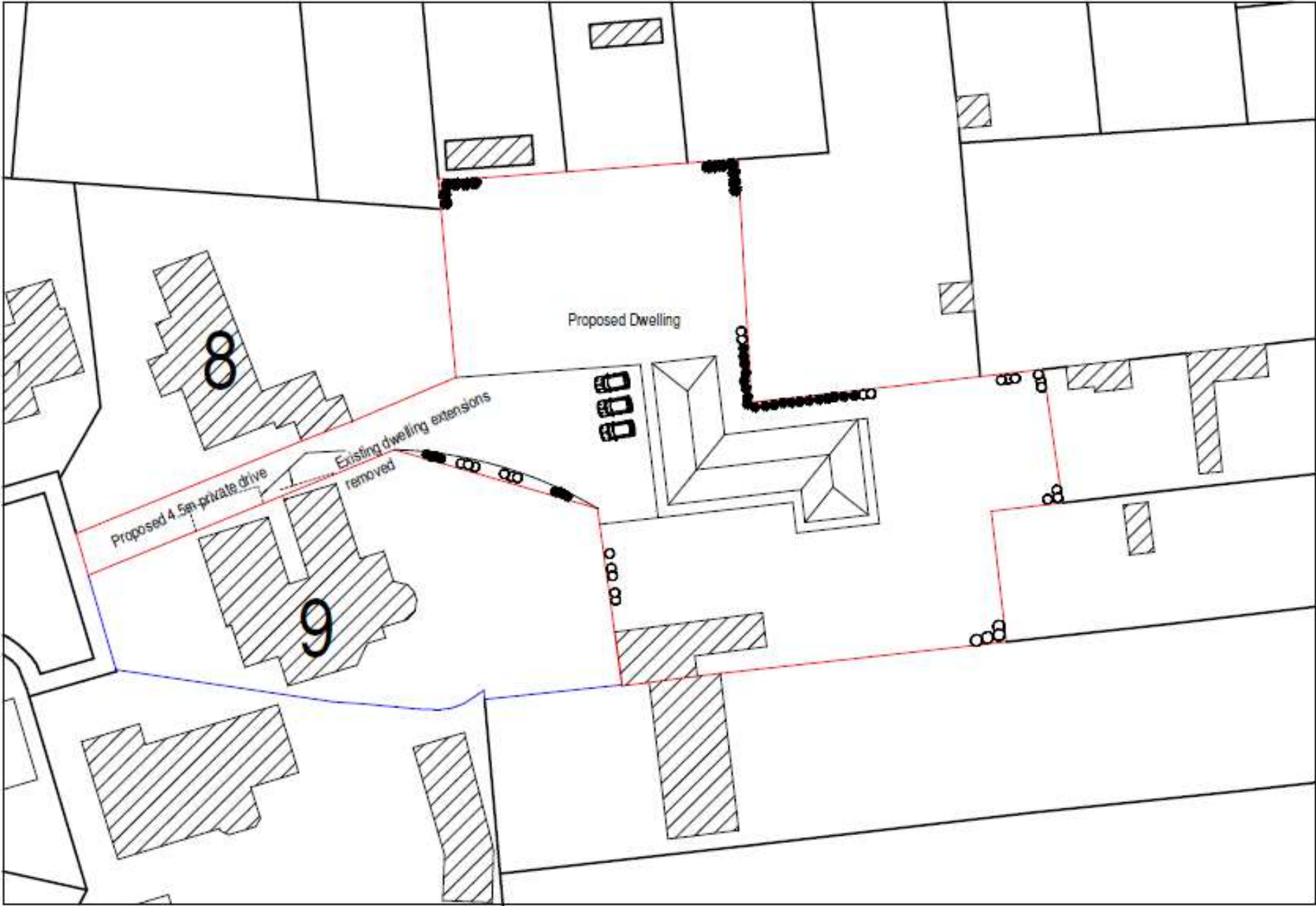
Photographs – View of site



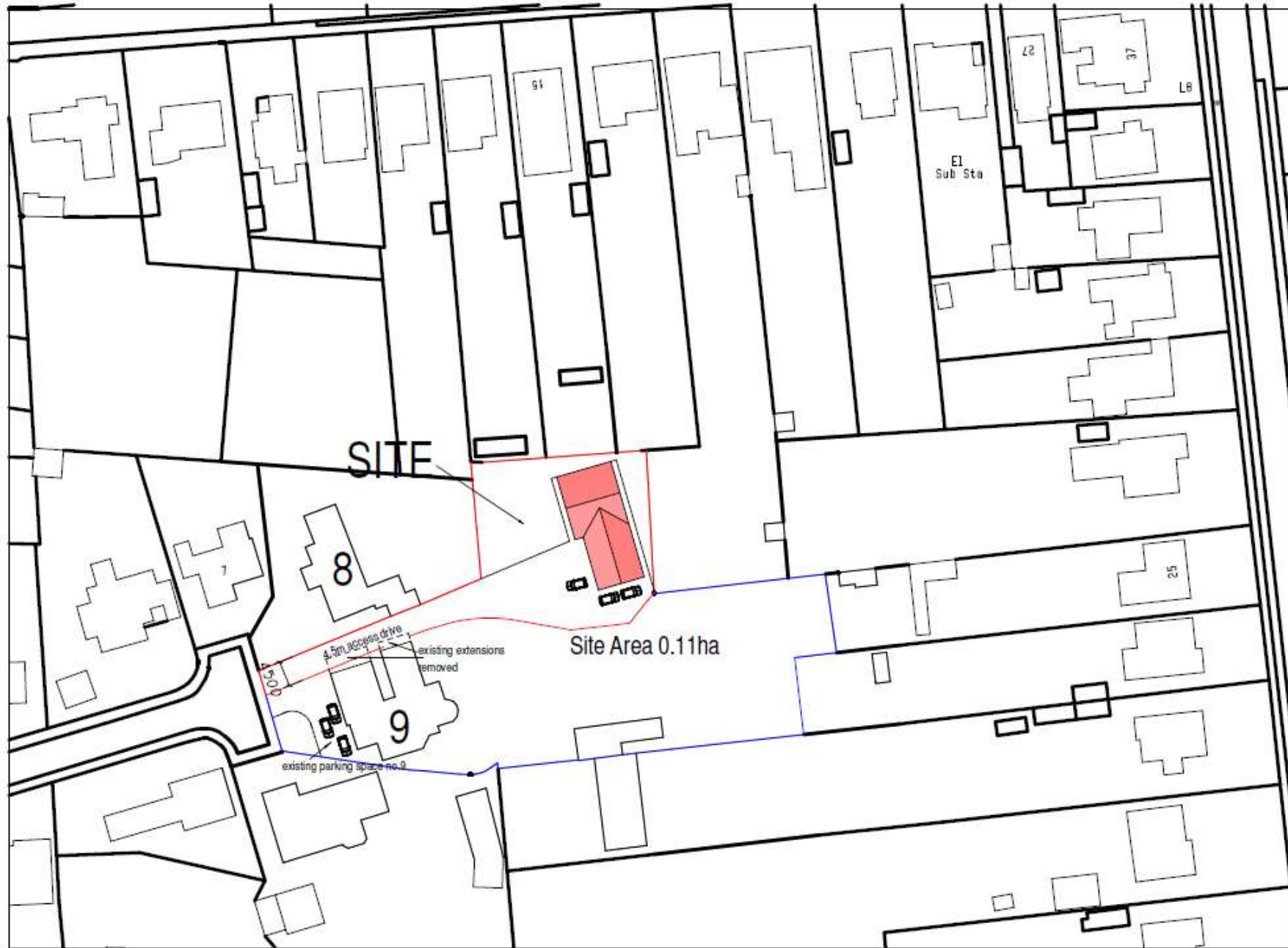
Proposed block plan – Visualisation of subdivision of site



Proposed block plan – Approval DC/20/1359/FUL



Proposed block plan – Previously approved scheme DC/21/0709/FUL



Proposed block plan – Previously refused scheme DC/21/3570/FUL



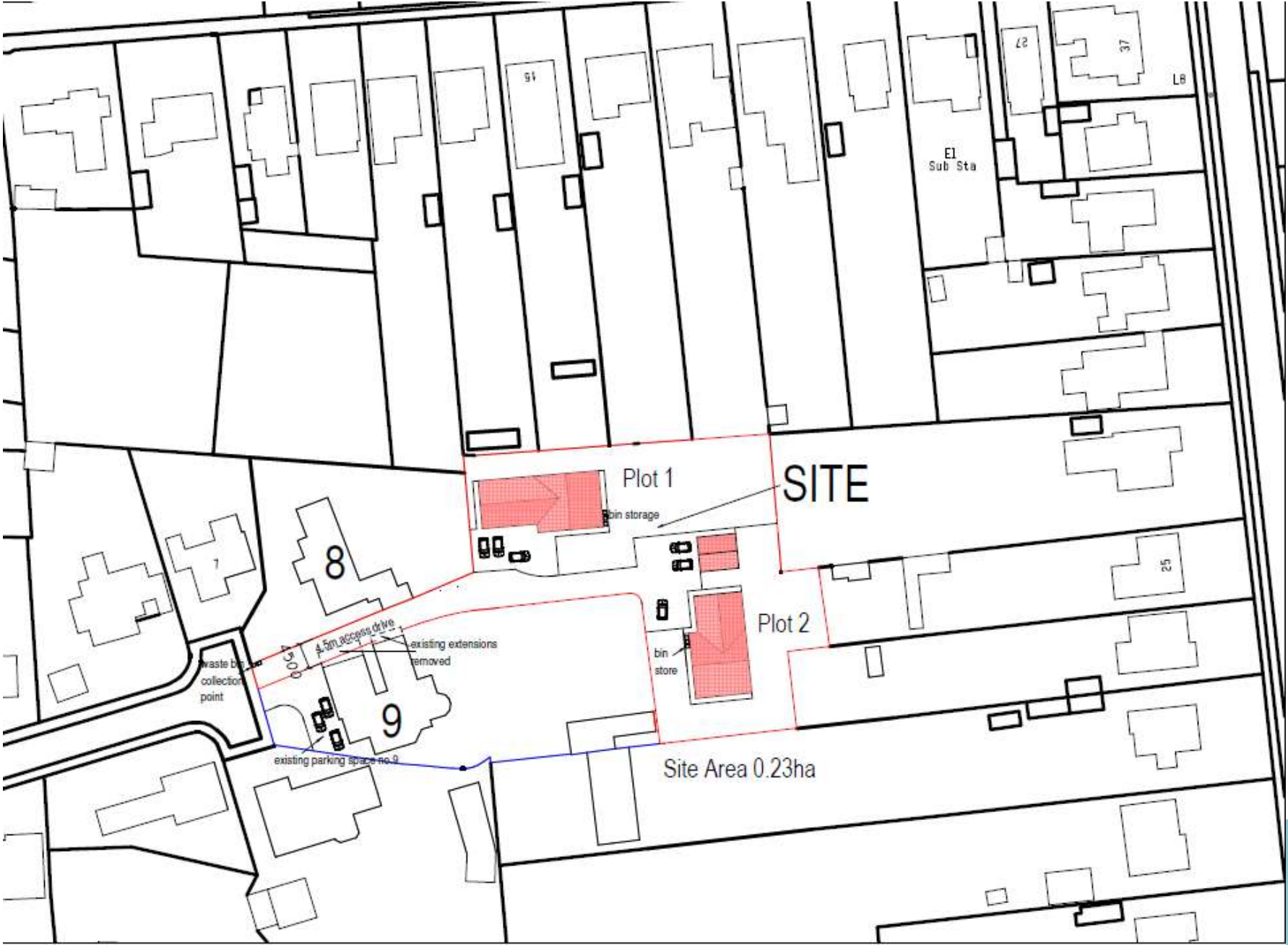
Proposed block plan – Originally submitted scheme



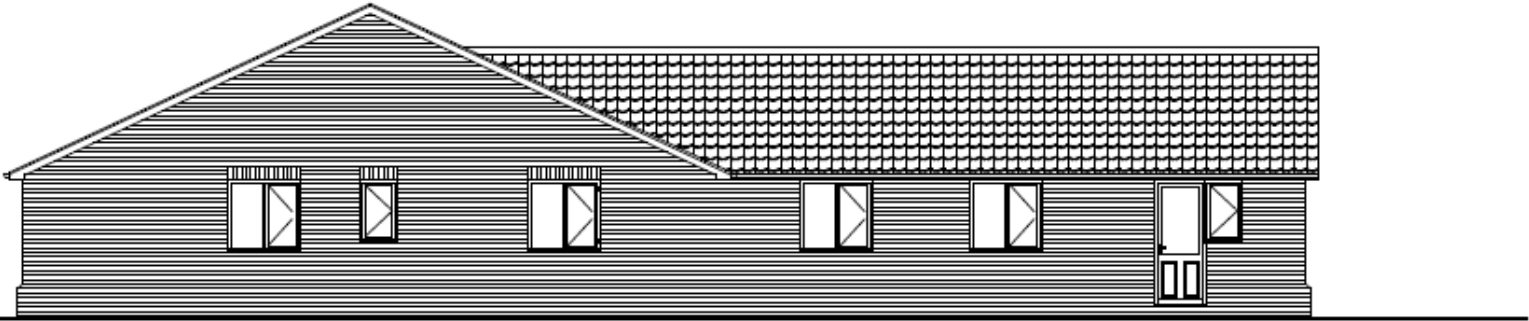
Proposed block plan – Amended Scheme previously seen my members



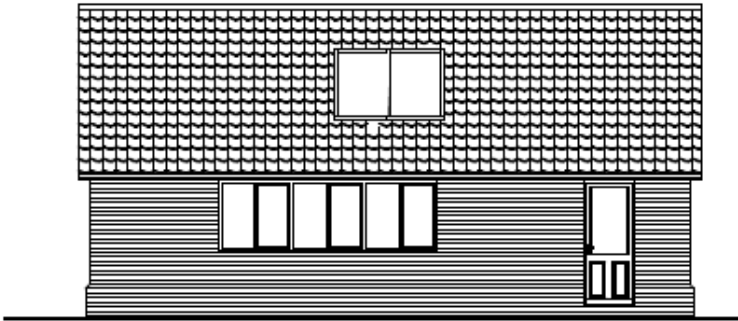
Proposed block plan – Amended Scheme



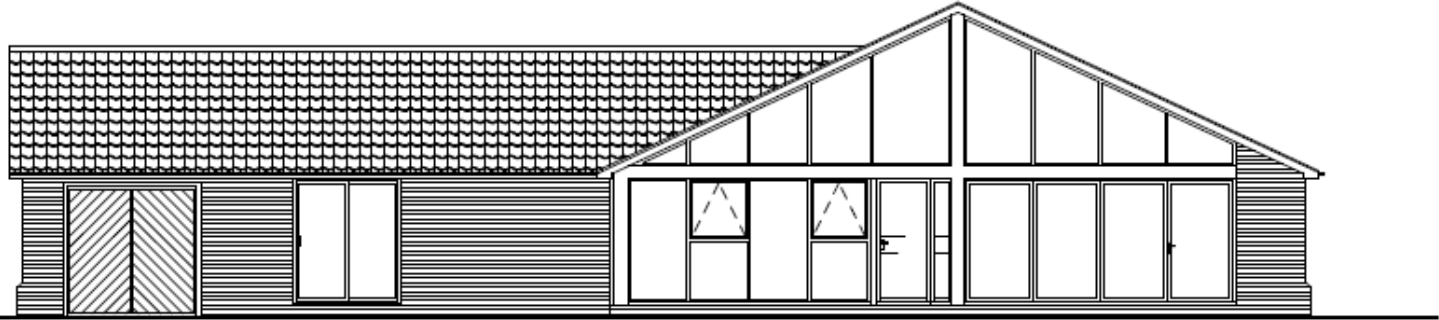
Proposed elevations – Plot 1



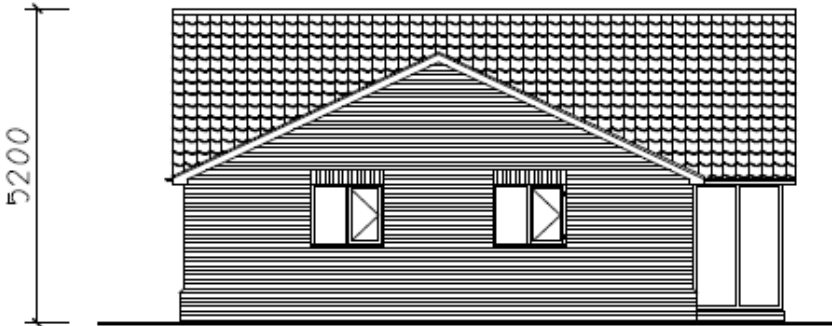
Rear Elevation



Side Elevation

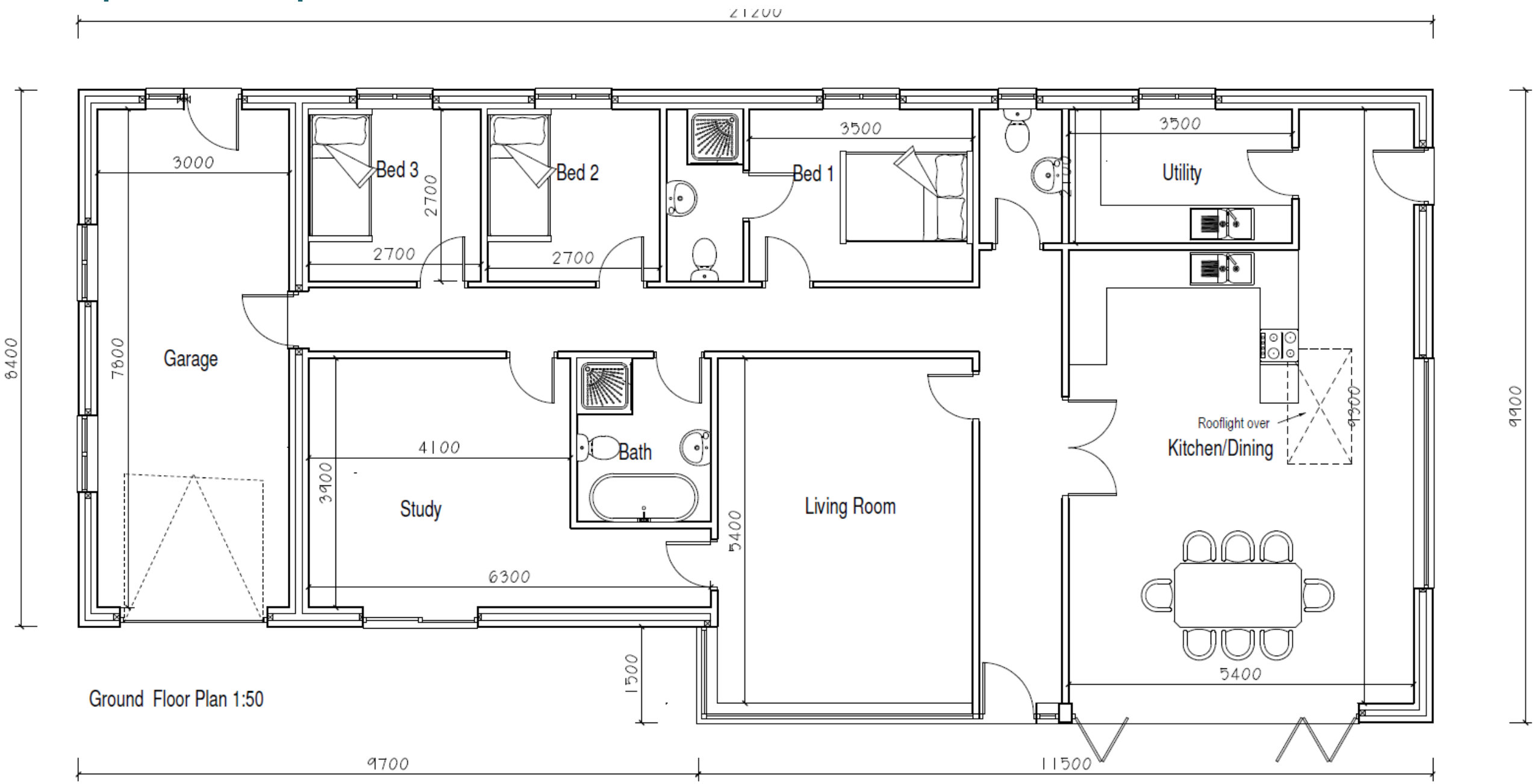


Front Elevation

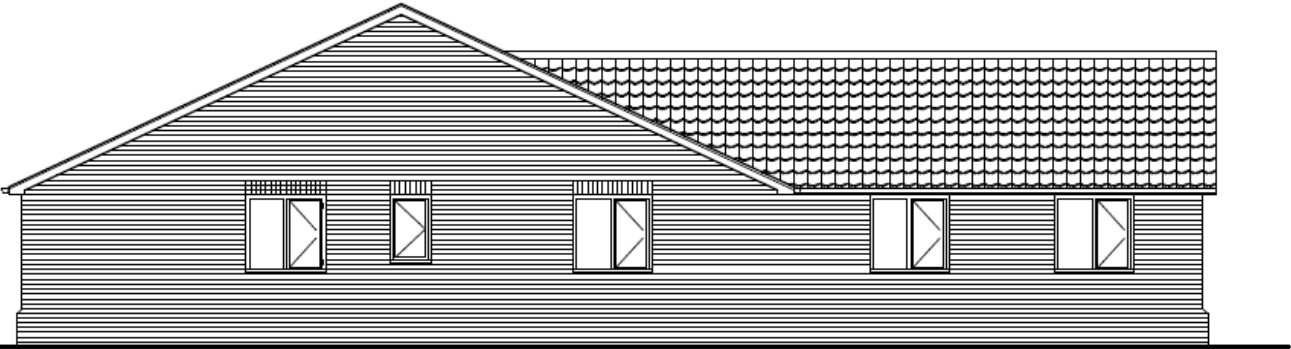


Side Elevation

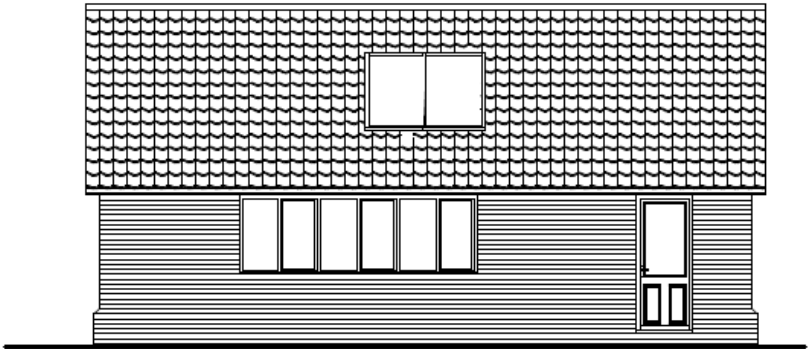
Proposed floor plans – Plot 1



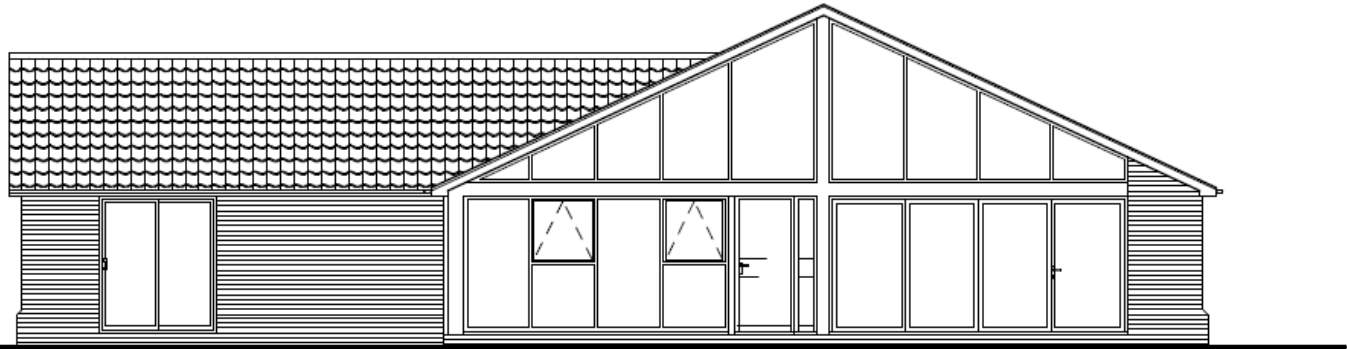
Proposed elevations – Plot 2



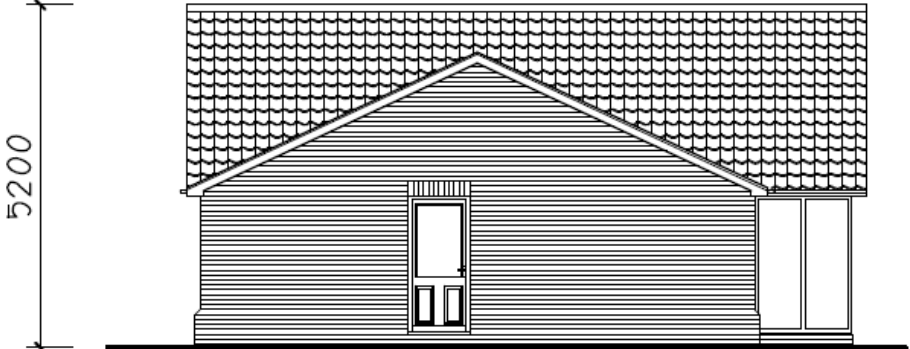
Rear Elevation



Side Elevation

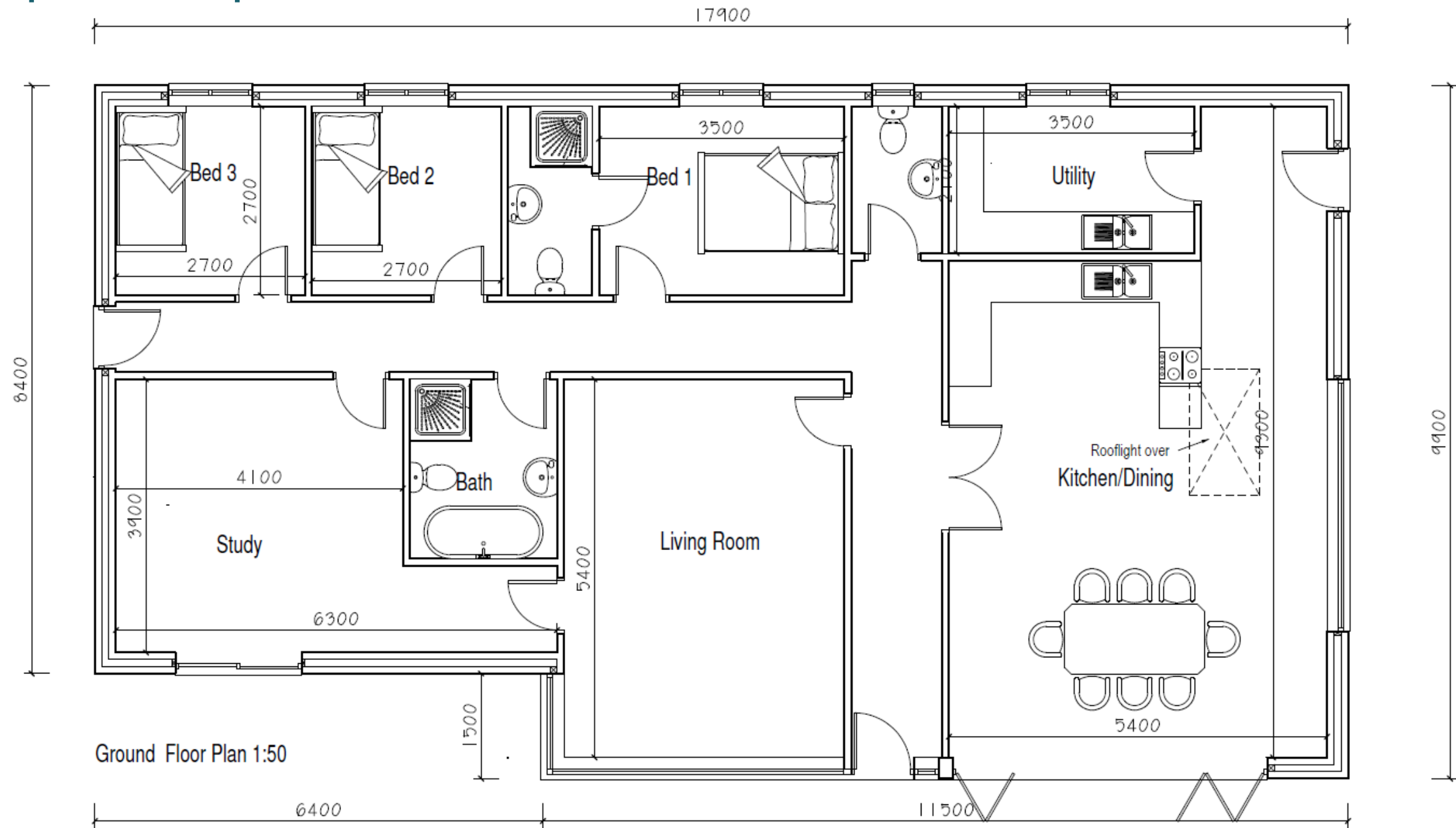


Front Elevation

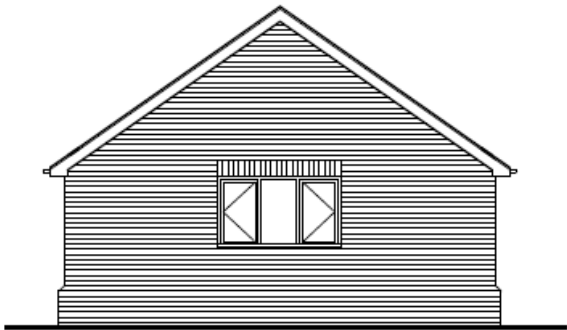


Side Elevation

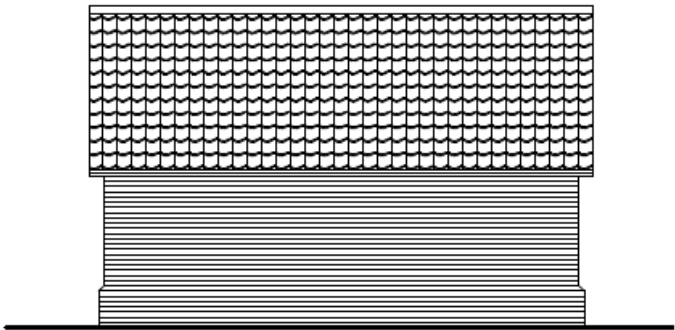
Proposed floor plans – Plot 2



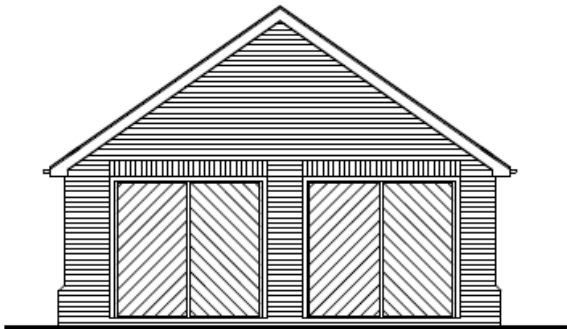
Proposed garage– Plot 2



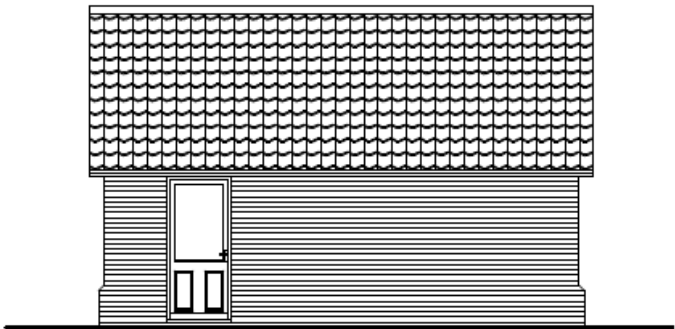
Rear Elevation



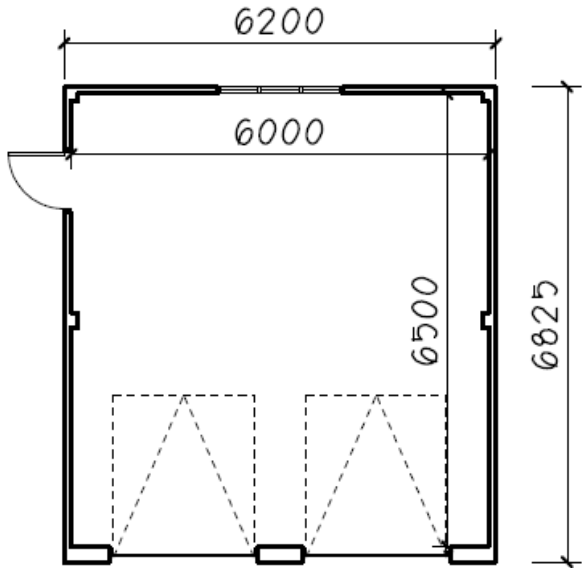
Side Elevation



Front Elevation



Side Elevation



Material Planning Considerations and Key Issues

- Principle
 - Design
 - Amenity
 - Highways
 - Biodiversity
 - Other Matters
- 
- A teal-colored decorative shape, resembling a stylized wave or a ramp, is located in the bottom right corner of the slide, extending from the bottom edge towards the right edge.

Recommendation

Recommended for approval subject to conditions as outlined within the report – summarised below:

- **Time Limit**
- **Plans**
- **Materials**
- **Landscaping Details**
- **Tree Protection Details**
- **Access Surface**
- **Means to Prevent Water Discharge**
- **Provision of Parking**
- **Bin Storage**
- **EV Details**
- **Removal of PD – First Floor Extensions**
- **Unexpected Contamination**

(As per Page 48 - 50 of the report)

Reason for Referral

The application is presented to the referral panel as officers are 'minded to approve' the application, contrary to the Town Council objection.

"This application was considered at a meeting of the Town Council's Planning Committee on 30 November 2021. It was agreed to recommend refusal of this application, due to overdevelopment of the site, the ecological impact and loss of habitat for wildlife, particularly due to the presence of a wildlife corridor. This application had previously been recommended for refusal by the Town Council and there was no additional detail in the revised application that could mitigate the original reasons for refusal."

The local ward member has also raised concerns:

"I am quite concerned about this planning application for two bungalows again."

Could you please confirm to me the exact situation with the planning applications in which what has been approved and what has not as this is going on for quite some time."

I have walked and driven in the Close and also one of my residents uses the pavement to go to see her son on the close and she uses a mobility scooter and she says on many occasions she has difficulty getting past cars that are partly parked on the pavement now. Surely with the likelihood of six further cars using the close this is not acceptable. I believe that this should be refused unless you can come up with a reason why this should go ahead."