



Committee Report

Planning Committee North – 22 February 2021

Application no DC/20/1395/FUL

Location

44 Gorleston Road
Lowestoft
Suffolk
NR32 3AQ

Expiry date 20 July 2020

Application type Full Application

Applicant Country Retirement and Nursing Homes Ltd

Parish Oulton Broad

Proposal Demolition of existing care home and adjacent dwelling house to form one larger site with a new build care home with associated amenity gardens and on site parking facilities.

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1. Summary

- 1.1. Planning permission is sought for the demolition of the existing care home (no.44) and adjacent dwelling (no.42), and the construction of a two storey 26 bed care home facility. The proposal is considered to have an acceptable impact on the character and appearance of the street scene and would have minor impacts on the amenity of neighbouring residents. Furthermore, the scheme is not considered to have an unacceptable impact on highway safety or increase the risk of flooding in the area. The construction of the care home will also provide much needed additional care home bed spaces as identified in the local plan in a highly suitable location. It is therefore concluded that on balance the positives of the proposal outweigh the minor negatives and as such it is recommended that planning permission be granted.
- 1.2. The Parish Council have objected to the application, and therefore due to the contrary officer recommendation the application was referred to the referral panel. At referral

panel on the 12th of January, it was decided that it was in the public interest for the application to be referred to committee due to the level of representation received.

2. Site description

- 2.1 The site is located within the settlement boundary for Lowestoft and comprises of a detached single storey 8 bed care home (no.44), which is operated alongside the "sister" home facility, Lilac Lodge, directly opposite at Nos 9-11 Gorleston Road. The red line also includes a one and a half storey dwelling (no.42), with a detached outbuilding along the southern boundary.
- 2.2 The properties are set within a mainly residential area, front onto Gorleston Road to the east, and are bounded by residential properties to the north, south and west. Located approximately 250m or a 5 min walk from the site is Oulton Broad North station, and there are also several bus stops within the vicinity of the application site.
- 2.3 The site totals a combined 0.7acres (0.28 hectares) and is predominantly gardens associated with the care home and adjacent dwelling.
- 2.4. The site is not located within any special designated areas, and the nearest listed building is approximately 220m (as the crow flies) south-west of the application site

3. Proposal

- 3.1 Planning permission is sought for the demolition of the existing care home and adjacent dwelling, and construction of a two-storey care home facility. The care home has been designed in a 'u' shape with a central garden area, grounds to the rear and parking and entrance area to the front. The building is split between single and two stories, with the two storey elements predominantly along the front and partially towards the northern boundary, with single storey along the rear projection. The proposed care home would have a footprint of approximately 1025sqm.
- 3.2 The care home will include:
 - 26 bedrooms with en-suites
 - Lounges and day room
 - Dining room, cafe, and kitchen
 - Managers office, nurse stations, staff room and admin office
 - Salon
 - Stores, plant room, and laundry room
 - Outside amenity space, and 11 on-site parking spaces
- 3.3 During the course of the application revised plans have been received and consulted upon. These amendments included a redesign of the site layout, size of the facility and design in order to reduce the impacts on the amenity of neighbouring residents and satisfy highway safety concerns.

4. Consultations/comments

- 4.1 22 objections have been received raising the following concerns:

- Overdevelopment of site,
- Out of character with the area,
- Impact on highways,
- Impact on existing sewage system,
- Set a precedent for other development on the road,
- Permission has previously been refused on the site,
- Impact on amenity due to loss of light and privacy, and increased noise.

Consultees

Parish/Town Council

Consultee	Date consulted	Date reply received
Oulton Broad Parish Council	21 April 2020	11 May 2020
<p><i>“Oulton Broad Planning Committee made virtual comments and would like the following comment. We can understand the need for this building, but we are concerned over the neighbour's very strong objections, this is from an existing bungalow to a very large two-storey building that extends all the way down the boundary. Therefore we would like to recommend Objection”</i></p>		

Statutory consultees

Consultee	Date consulted	Date reply received
Suffolk County Council- Highways Department	21 April 2020	6 May 2020
<p>Summary of comments: Objection raised regarding lack of parking and on-site manoeuvring space, and issues regarding access.</p>		

Consultee	Date consulted	Date reply received
Suffolk County Council Flooding Authority	22 April 2020	24 April 2020
<p>Summary of comments: Holding objection raised due to lack of information</p>		

Non statutory consultees

Consultee	Date consulted	Date reply received
Police - Alan Keely Crime Reduction Beccles Police Station	N/A	4 May 2020
<p>Summary of comments: No objections to application but several recommendations to applicant</p>		

Consultee	Date consulted	Date reply received
Essex And Suffolk Water PLC	21 April 2020	No response
Summary of comments: No comments received		

Consultee	Date consulted	Date reply received
Waveney Norse - Property and Facilities	21 April 2020	No response
Summary of comments: No comments received		

Consultee	Date consulted	Date reply received
Head of Environmental Services	21 April 2020	27 April 2020
Summary of comments: Objections raised regarding contaminated land, noise, odour, light, and demolition and construction method.		

Reconsultation consultees

Consultee	Date consulted	Date reply received
Oulton Broad Parish Council	10 November 2020	10 December 2020
<i>"Recommend Objection due to the following: Completely wrong, over development, access issue, have to listen to our local people who are objecting. OBPC have objected 3 times on this planning application."</i>		

Consultee	Date consulted	Date reply received
Essex And Suffolk Water PLC	10 November 2020	No response
Summary of comments: No comments received		

Consultee	Date consulted	Date reply received
Head of Environmental Services	10 November 2020	11 December 2020
Summary of comments: Following amendments, no objections raised subject to several conditions		

Consultee	Date consulted	Date reply received
Police - Alan Keely Crime Reduction Beccles Police Station	10 November 2020	No response
Summary of comments: No comments received		

Consultee	Date consulted	Date reply received
Suffolk County Council Flooding Authority	10 November 2020	27 November 2020
Summary of comments: Following additional information, no objections raised subject to conditions		

Consultee	Date consulted	Date reply received
Suffolk County Council - Highways Department	10 November 2020	18 November 2020
Summary of comments: Following additional amendments, no objections raised subject to conditions		

Consultee	Date consulted	Date reply received
Waveney Norse - Property and Facilities	10 November 2020	No response
Summary of comments: No comments received		

5. **Publicity**

The application has been the subject of the following press advertisement:

Category	Published	Expiry	Publication
Major Application	1 May 2020	26 May 2020	Beccles and Bungay Journal

Category	Published	Expiry	Publication
Major Application	1 May 2020	26 May 2020	Lowestoft Journal

6. **Planning policy**

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act (2004) sets out that "If regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise." This is reflected in paragraph 12 of the

NPPF which affirms the statutory status of the development plan as the starting point for decision-making.

- 6.2 The development plan comprises the East Suffolk Council - Waveney Local Plan ("The Local Plan") and any adopted Neighbourhood Plans. The relevant policies of the Local Plan are listed below:

East Suffolk Council - Waveney Local Plan (March 2019) - policies

- WLP1.1 - Scale and Location of Growth
- WLP1.2 - Settlement Boundaries
- WLP8.1 - Housing Mix
- WLP8.21 - Sustainable Transport
- WLP8.28 - Sustainable Construction
- WLP8.29 - Design
- WLP8.31 - Lifetime Design

- 6.3 The National Planning Policy Framework (NPPF) is a material consideration.

7. **Planning considerations**

Principle

- 7.1 The Policy WLP1.1 allocates 56% of the housing growth across the Waveney Local Plan area to Lowestoft. The application site is located in a primarily residential area of central Lowestoft within the settlement boundary as defined by Policy WLP1.2.
- 7.2 The Strategic Housing Market Assessment identifies the need for different types of housing including a need for an 905 additional spaces in care homes and nursing homes over the plan period. Policy WLP8.1 states the type and mix of housing should be based on evidence of local needs including the Strategic Housing Market Assessment. The proposal provides an additional 18 care home spaces contributing towards the need identified in the Strategic Housing Market Assessment.
- 7.3 Furthermore, section 8 of the NPPF sets out that planning decisions should aim to achieve healthy, inclusive and safe places, which promote social interaction, are safe and accessible, and enable and support healthy lifestyles.
- 7.4 The site lies along Gorleston Road which is a residential road with pavements and cycle lanes on each side of the road, served with bus routes and stops, and also in close proximity to a train station. The application site is well served by local amenities including a doctors surgery with a pharmacy, petrol station, various shops and restaurants on Bridge Road, and post office and newsagents on Hall Road. This should ensure that residents of the proposed care home remain integrated into the local community, given the level of local facilities.
- 7.5 It is therefore considered given the identified need in the strategic housing market assessment and the sustainable and well-situated position of the site that the proposed principle of a care home is acceptable.

Character and appearance

- 7.6 Policy WLP8.29 sets out the design aspirations for new development. The surrounding area is characterised by a mixture of architectural designs and scales. To the west and south of the site are an array of bungalows, to the north are two storey dwellings, and on the opposite side of the road is a two-storey care home.
- 7.7 The proposed care home has been designed with a contemporary appearance, in a 'U' shaped design to maximise the available space on the site whilst ensuring sufficient sized landscaped areas. The proposed care home proposes a mixture of materials including red brick, grey slate roof tiles, timber cladding, and aluminium doors and windows. The overall palette of materials is considered to be high quality and takes inspiration from materials used in the wider surrounding area. However, to ensure the materials used are high quality a condition is proposed for details to be provided.
- 7.8 It is acknowledged that the proposed care facility would represent a departure from the more traditional vernacular of the street scene in the immediate area. However, the proposed building has been designed with a fractured front elevation and a mixed palette of materials. This is considered to reduce the visual bulk whilst mirroring the height of adjacent properties to the north. Furthermore, given the positioning of the proposed care home and surrounding properties it is considered that the portions of the care home would not be widely visible from the wider street scene. Thereby limiting the visual appearance of the care home on the street scene. As such in this instance the building is not considered to appear at odds or adversely impact on the character and appearance of the area or street scene or appear overtly cramped on the site compared to its surroundings.
- 7.9 The proposal would also represent a departure from surroundings in terms of proportion of land taken up by development. However, the proposed care home has been designed to include large garden/landscaped areas to the south and west, with some additional landscaping along the northern boundary and hard landscaped area along the street. In addition, the proposal has been designed to work with the constrained nature of the site. Therefore, given these points and the proposed landscaping and separation distances, it is considered that on balance the proposal would not represent overdevelopment of the application site, that would have resulted in a potentially overly cramped appearance compared to the surroundings.

Amenity

- 7.10 Policy WLP8.29 sets out that proposed development should protect the amenity of the wider environment, neighbouring uses and provide a good standard of amenity for future occupiers of the proposed development.
- 7.11 The proposal will introduce development along a sizeable portion of the boundary with no.46 (north), this will be split between single and two storey forms of development and set in from the boundary. The distance from the boundary with no.46 will range from approximately 8.4m at the front corner to 6m at the rear most corner, and at its closest the projecting elements will be approximately 3.25m in the front boundary. The closest two storey element to the boundary will be positioned adjacent to the neighbouring garage,

with the majority of the two-storey element set at least 6m in the front boundary. The proposal also includes 4 first floor windows on the north elevation, these serve rooms that already have other openings or rooms where outlook is not as important such as nurse stations and bathrooms. It is proposed that these windows be obscured glazed to protect the amenity of residents to the north, and this would be conditioned to ensure the obscured glazing is retained.

- 7.12 Therefore, given the above, the orientation of the site and the size of the rear garden, it is not considered that the outlook from no.46 would be demonstrably impacted by the proposal. In addition, it is not considered that the proposal would result in any adverse loss of light to no.46 or result in excessive overshadowing of the rear garden. Furthermore, given the obscured glazing it is considered that the proposal would not result in any adverse impacts on the privacy of residents to the north.
- 7.13 The care home faces onto Gorleston Road to the east, with a number of first floor windows, one terrace accessed from the lounge and one balcony from a bedroom. Given that these openings face onto the Gorleston Road, it is not considered that they would adversely impact on the amenity of neighbouring residents from overlooking or loss of privacy.
- 7.14 To the south of the site are a number of single storey dwellings, with the boundaries of no.40 Gorleston Road and St Ives, and Strathallan on Hall Road directly bounding the southern site boundary. The two-storey front elevation section of the care home is in line with the no.40, with the two-storey projecting element set approximately 16m in from the boundary. Given the distance it is not considered that the care home would result in an adverse loss of light to no.40 or the properties on Hall Road. The single storey rear element of the care home will slightly wrap around the rear of the no.40 and be located along part of the boundaries of properties along Hall Road. However, given the separation distance of 21m from the single storey element and no.40 and 25m from the properties of Hall Road, is considered sufficient to not result in any adverse outlook issues.
- 7.15 The proposed care home includes 4 first floor windows that face south and serve rooms such as bathrooms and nursing station. Therefore, in order to protect the amenity of neighbouring residents these windows will be obscured glazed. As such the proposal is considered to not result in any additional overlooking or loss of privacy for properties to the south.
- 7.16 To the east of the site are a number of single storey dwellings that front onto Elmhurst Road. These properties are located approximately 14m from the western boundary of the application site. At the nearest point the single storey element is located approximately 10m from the boundary with the two-storey element located approximately 30m. These distances are considered sufficient that the proposed development would not appear overbearing or adversely impact on outlook. Furthermore, the proposed rear facing windows of the care home will be located approximately 44m from the rear elevations of the properties to the west. This is considered sufficient that the proposal will not result in any overlooking or loss of privacy.
- 7.17 The proposal will also seek to ensure that a 1.8m high close boarded fence is located around the majority of the perimeter of the site. This is considered to ensure that no ground floor windows introduce any overlooking to neighbouring properties.

- 7.18 Finally, it is not considered that the proposal would result in an excessive noise increase to this largely residential area or introduce uncommon noise that would adversely impact on the amenity. The environmental protection team have reviewed the submitted acoustic report which identifies that the development should be acceptable if certain noise control measures are in place. In order to ensure this, it would be necessary to impose a condition that identifies all potential noise sources and provide suitable details. It is therefore concluded that whilst some amenity impacts will occur it is not considered that it would be to a demonstrable degree that would adversely impact on the enjoyment of neighbouring residential properties.
- 7.19 Due to the relatively close proximity of neighbouring residents and the potential for impact from noise and other amenity issues during the demolition and construction phases, it is considered necessary to impose a condition that prior to commencement full demolition and construction details are provided, and details on how the impact on amenity to local residents will be limited.

Highways

- 7.20 It is considered by officers that the site is located within a highly sustainable location in proximity of several services including doctors, pharmacies and shop, and transport links including bus and trains. Given these points the need for vehicles visiting the site will be reduced due to the ease of visiting and accessibility of the site. In addition, the proposal includes a covered cycle storage on the southern boundary, thereby providing alternatives to motor vehicles.
- 7.21 SCC Highways initially raised concerns regarding potential highways implications due to parking issues, lack of manoeuvring spaces and use of existing residential accesses. Subsequently the application was amended to reduce the number of rooms to ensure adequate parking provision.
- 7.22 Furthermore, it has been confirmed that deliveries would continue to be made to the existing Lilac Lodge in order to reduce the need for delivery vehicles to maneuver an access on to the highway from the site. SCC Highways have subsequently raised no objections subject to several conditions covering the submission of a delivery management plan, access improvements, and parking and storage details.

Lifetime design

- 7.23 Policy WLP8.31 seeks to ensure that proposals, including care home such as that proposed, demonstrate that the design supports the needs of older people. The proposal includes several ground floor bedrooms, a lift, accessible bathrooms and wide corridors. The design provides legible routes in, through and around the building, and distinctive zones of use. Whilst the 'U' shape design maximises the number of bedrooms with views of, and access into the garden.
- 7.24 WLP8.31 also outlines principles for developments to follow to assist those that live with dementia and other needs. The proposed frontage of the site is considered to create a clear landmark building which faces the junction and that is clearly distinguishable from the others in the area. Also, the main entrance and the entrance to the amenity garden

have been designed to be clearly distinguishable from each other. The design of the amenity garden also includes a clear and legible path to be used by residents as they use the area. Finally, the Design and Access Statement states that the new building will retain its 'homely feel', meaning the building should remain familiar and comfortable for residents. It is therefore deemed that the proposal does provide a building complaint with lifetime design principles and that will ensure a high level of standards for future occupants.

- 7.25 The home has also been designed in accordance with the HAPPI Principles as set out by the Housing our Ageing Population Panel for Innovation. These include measures such as; Space and Flexibility, Daylight, Balconies and outdoor space, Adaptability and 'care ready' design, Positive use of circulation space, Shared facilities and 'hubs', Plants, trees, and the natural environment, Energy efficiency and sustainable design, Storage for belongings and bicycles, and External shared surfaces.

Other matters

- 7.26 The Lead Flood Authority initially raised flooding and drainage concerns for the site. The applications specialists have subsequently been in contact with the LFA and these matters have been addressed, and therefore subject to conditions these matters are now considered to be resolved.
- 7.27 Concerns have also been raised regarding impact on sewage system. However, officers are no evidence that the system is inadequate, and Essex and Suffolk Water have provided no comments on this application.
- 7.28 The proposal also provides internal space within the main building for the storage of refuse bins. This will ensure that the bins are no visible along the street scene.
- 7.29 The nearest listed building is the Grade II Listed building, Nos 24 and 21 Holly Road, Lowestoft, situated approximately 220m south-west of the application site. There are no direct views between the Listed Building and the application site given the existing surrounding development. As such the proposal is considered to have no impacts on the setting of the Grade II Listed building

8. Conclusion

- 8.1 As set out above, it is acknowledged that the proposal does represent a departure from the architectural style and massing of properties in the area and could result in some amenity impairments to neighbouring residents. However, these impacts are not considered to adversely impact on the character and appearance of the area or the enjoyment of neighbouring residents properties. In addition, the proposal will provide an additional 18 much needed care spaces and a total of 26 spaces that will be to modern and suitable standard for future occupiers. It is therefore considered that on balance that the positives just outweigh the negatives and as such permission should be granted.

9. Recommendation

It is recommended that the application be referred to planning committee due to the level of local opposition and the on-balance officer recommendation.

10. Conditions

1. The development hereby permitted shall be begun within a period of three years beginning with the date of this permission.

Reason: In accordance with Section 91 of the Town and Country Planning Act 1990 as amended.

2. The development hereby permitted shall be completed in all respects strictly in accordance with received:
 - Site Location Plan, 19-045-101, received 03/04/2020
 - Proposed site plan, 19-045-110 Rev D, received 11/12/2020
 - Proposed access visibility, 60760/PP/001 Rev B, received 11/12/2020
 - Site Specific Flood Risk Assessment Report, 60760 Rev A, received 11/12/2020
 - Proposed sections through Elmhurst Avenue, 19-045-106, received 09/11/2020
 - Comparison Street Scene Elevations, 19-045-102, received 09/11/2020
 - Ground Floor plan – Proposed, 19-045-120 Rev B, received 09/11/2020
 - First Floor and plant room- Proposed, 19-045-121 Rev B, received 09/11/2020
 - Proposed Elevations, 19-045-150 Rev A, received 09/11/2020
 - Planning noise assessment, RJ6/20284/First Issue, received 09/11/2020
 - Highways Assessment, 60760/DDP/MJD, received 09/11/2020
 - Phase 1 Contaminated Land Assessment, 214821, received 20/04/2020for which permission is hereby granted or which are subsequently submitted to and approved by the Local Planning Authority and in compliance with any conditions imposed by the Local Planning Authority.

Reason: For the avoidance of doubt as to what has been considered and approved.

3. Details of all external facing and roofing materials shall be submitted to and approved by the Local Planning Authority before development commences. Development shall be carried out in accordance with the approved details.

Reason: To ensure the satisfactory external appearance of the development.

4. All first-floor windows on the north and south elevations shall be obscured glazed, as shown in drawing 19-045-150, prior to first use of the building, and shall thereafter be retained in their approved form.

Reason: To protect the amenity of neighbouring residents.

5. No development, including any demolition or construction, shall commence until a site-specific Demolition and Construction Environmental Management Plan has been submitted to and approved in writing by the LPA. The plan must demonstrate the adoption and use of the best practicable means to mitigate pollution arising from emissions of waste, noise, vibration, dust
 - proposed site working hours;

- the proposed demolition and construction methodologies and the identification of any potentially significant sources of dust, noise, vibration and artificial light pollution;
- detailed proposals for the management and storage of any wastes generated;
- detailed mitigation measures to reduce noise and vibration in accordance with Parts 1 and 2 of BS 5228; and
- detailed dust mitigation measures in accordance with the IAQM 'Guidance on the assessment of dust from demolition and construction'.

Reason: In the interests of residential amenity and to ensure that the development can be carried out safely without unacceptable risks to neighbours and other offsite receptors.

6. In the event that contamination is found or suspected at any time when carrying out the approved development it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be completed in accordance with a scheme to assess the nature and extent of the contamination on the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority.

Where remediation is necessary a detailed remediation scheme must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme must be carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Following completion of measures identified in the approved remediation scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

7. Before the development hereby permitted commences a written scheme must be approved to the local planning authority which identifies all potential noise sources (especially any fixed plant source as coolers, heaters, extractors, air conditioning etc), details their predicted acoustic performance and specifies the provisions to be made for the control of noise emanating from the site. The details contained within this approved written scheme must then be implemented in full prior to first use.

Reason: In the interests of protecting residential amenity.

8. No development approved by this planning permission shall take place until a detailed acoustic assessment of the impacts arising from noise from fixed plant has been submitted to, and approved in writing by, the LPA. The assessment should identify and detail all items of fixed plant (including extraction, ventilation, heating, cooling, air-conditioning and refrigeration) which are located on or connected to external elements of the development and assess the impacts of noise arising from them against appropriate standards including BS4142 and BS8223. If noise control measures are required these should be also be detailed. Thereafter the development must be completed in accordance with the approved acoustic assessment.

Reason: To protect the amenity of neighbouring residents

9. The development must be completed in accordance with the noise control measures specified in the submitted Spectrum Acoustic Consultants 'Planning noise assessment' (RJ6/20284/First Issue), namely:
- the 2m high glazed screen and highly absorptive layer detailed in section 5.2; and
 - the glazing and ventilation specified in Appendix D.

Reason: To protect the amenity of neighbouring residents

10. No development approved by this planning permission shall take place until an assessment of odours arising from the proposed kitchen has been submitted to, and approved in writing by, the LPA. The assessment should accord with the 'Control of Odour and Noise from Commercial Kitchen Exhaust Systems. An update to the 2004 report prepared by NETCEN for the Department for Environment, Food and Rural Affairs.' If odour control measures are required these should be detailed. Thereafter the development must be completed in accordance with the approved odour assessment.

Reason: To protect the amenity of neighbouring residents.

11. No withstanding the allowances of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order) (with or without modification), the premises hereby permitted, shall be used solely as a C2 Care home as defined in The Town and Country Planning (Use Classes) Order 1987 (or any order revoking and re-enacting that Order) (with or without modification)

Reason: To retain control and enable consideration as to whether other uses in the Use Class would be satisfactory in this area.

12. No part of the development shall be commenced until details of the improved accesses and highway works shown on Drawing No. 60760/PP/001 B have been submitted to and approved in writing by the Local Planning Authority. The approved works shall be laid out and constructed in its entirety prior to the occupation of the development.

Reason: To ensure that the accesses are improved and constructed to an appropriate specification and made available for use at an appropriate time in the interests of highway safety.

13. The areas to be provided for storage of Refuse/Recycling bins, as detailed in drawings 19-0450129 B, shall be implemented in its entirety before the development is brought into use and shall be retained thereafter for no other purpose.

Reason: To ensure that refuse recycling bins are not stored on the highway causing obstruction and dangers for other users.

14. All delivery, waste collection and other large goods vehicle traffic serving the permitted development shall be subject to a Delivery Management Plan (including details of signage to be erected, measures to enforce the plan, and measures to consider and control noise). This shall be submitted to and approved in writing by the local planning authority prior to commencement on site. All delivery, waste collection and other large goods vehicles serving the development must do so in accordance with the Plan.

Reason: To reduce and / or remove as far as is reasonably possible the likelihood of delivery and other large vehicles using the car park accesses on Gorleston Road.

15. The use shall not commence until the area(s) within the site shown on Drawing No. 60760/PP/001 B for the purposes of [LOADING, UNLOADING,] manoeuvring and parking of vehicles including secure cycle storage has been provided and thereafter that area(s) shall be retained and used for no other purposes.

Reason: To ensure that sufficient space for the on site parking of vehicles is provided and maintained in order to ensure the provision of adequate on-site space for the parking and manoeuvring of vehicles where on-street parking and manoeuvring would be detrimental to highway safety to users of the highway.

16. Before the improved accesses are first used visibility splays shall be provided as shown on Drawing No. 60760/PP/001 B with X dimensions of 2.3m and 2.4m and Y dimensions of 59m and thereafter retained in the specified form. Notwithstanding the provisions of Part 2 Class A of the Town & Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order with or without modification) no obstruction over 0.6 metres high shall be erected, constructed, planted or permitted to grow within the areas of the visibility splays.

Reason: To ensure vehicles exiting the drive would have sufficient visibility to enter the public highway safely, and vehicles on the public highway would have sufficient warning of a vehicle emerging to take avoiding action.

17. Before the development is commenced details of the covered bike storage area, as detailed on drawing 19-045-110 Rev D, shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be carried out in its entirety before the development is brought into use and shall be retained thereafter and used for no other purpose.

Reason: To promote sustainable transport choices

18. No development shall commence until details of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the local planning authority (LPA).

Reason: To ensure that the principles of sustainable drainage are incorporated into this proposal, to ensure that the proposed development can be adequately drained

19. No development shall commence until details of the implementation, maintenance and management of the strategy for the disposal of surface water on the site have been submitted to and approved in writing by the LPA. The strategy shall be implemented and thereafter managed and maintained in accordance with the approved details.

Reason: To ensure clear arrangements are in place for ongoing operation and maintenance of the disposal of surface water drainage.

20. Within 28 days of practical completion of the last dwelling, surface water drainage verification report shall be submitted to the Local Planning Authority, detailing and verifying that the surface water drainage system has been inspected and has been built and functions in accordance with the approved designs and drawings. The report shall include details of all SuDS components and piped networks, in an agreed form, for inclusion on the Lead Local Flood Authority's Flood Risk Asset Register.

Reason: To ensure that the surface water drainage system has been built in accordance with the approved drawings and is fit to be put into operation and to ensure that the Sustainable Drainage System has been implemented as permitted and that all flood risk assets and their owners are recorded onto the LLFA's statutory flood risk asset register as required under s21 of the Flood and Water Management Act 2010 in order to enable the proper management of flood risk with the county of Suffolk <https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/flood-risk-asset-register/>

21. No development shall commence until details of a Construction Surface Water Management Plan (CSWMP) detailing how surface water and storm water will be managed on the site during construction (including demolition and site clearance operations) is submitted to and agreed in writing by the LPA. The CSWMP shall be implemented and thereafter managed and maintained in accordance with the approved plan for the duration of construction. The approved CSWMP shall include: Method statements, scaled and dimensioned plans and drawings detailing surface water management proposals to include:-

- i. Temporary drainage systems
- ii. Measures for managing pollution / water quality and protecting controlled waters and watercourses
- iii. Measures for managing any on or offsite flood risk associated with construction

Reason: To ensure the development does not cause increased flood risk, or pollution of watercourses or groundwater

<https://www.suffolk.gov.uk/roads-and-transport/flooding-and-drainage/guidance-on-development-and-flood-risk/construction-surface-water-management-plan/>

22. The Cafe, hereby approved as part of this application, shall only be used by residents and staff of the care home, or people visiting current residents of the care home. The cafe shall not be open to members of the public outside of this group.

Reason: To protect highway safety and the amenity of neighbouring residents.

11. **Informatives:**

1. The Local Planning Authority has assessed the proposal against all material considerations including planning policies and any comments that may have been received. The planning application has been approved in accordance with the objectives of the National Planning Policy Framework and local plan to promote the delivery of sustainable development and to approach decision taking in a positive way.
2. Any works to lay new surface water drainage pipes underneath the public highway will need a licence under section 50 of the New Roads and Street Works Act
3. It is an OFFENCE to carry out works within the public highway, which includes a Public Right of Way, without the permission of the Highway Authority.

Any conditions which involve work within the limits of the public highway do not give the applicant permission to carry them out. Unless otherwise agreed in writing all works within the public highway shall be carried out by the County Council or its agents at the applicant's expense.

The County Council's East Area Manager must be contacted on Telephone: 0345 6066171. Further information can be found at:
<https://www.suffolk.gov.uk/roads-and-transport/parking/apply-for-a-dropped-kerb/>

A fee is payable to the Highway Authority for the assessment and inspection of both new vehicular crossing access works and improvements deemed necessary to existing vehicular crossings due to proposed development.

12. **Background information**

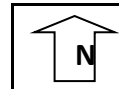
See application reference DC/20/1395/FUL on [Public Access](#)

Map



DO NOT SCALE SLA100019684

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Key



Notified, no comments received



Objection



Representation



Support