

Item 9

DC/22/3413/RG3

Residential development comprising 7 dwellings

Land West Of Halesworth Road Ilketshall St Lawrence



Site Location Plan/Aerial view













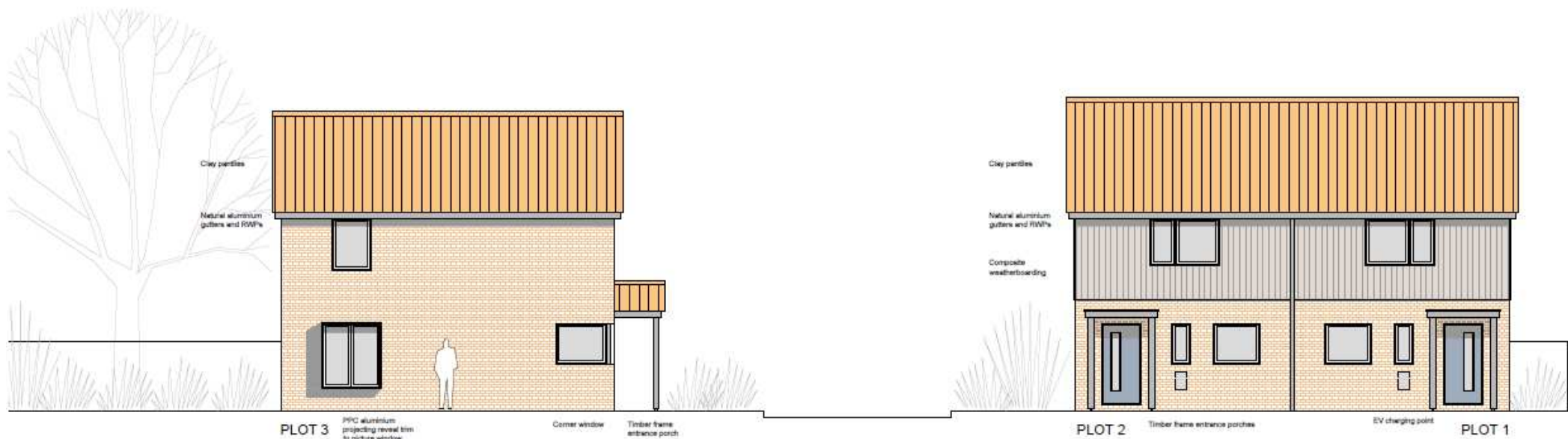
Proposed Block Plan

Plots 1, 2 & 3 2b4p semi-detached houses
Plot 4 3b5p semi-detached house
Plots 5 & 7 3b5p wheelchair accessible bungalows
Plot 6 2b4p bungalow

5.8m wide shared surface private drive & turning area
Drive, turning & parking areas to be finished
with permeable paving on a permeable sub-base
PV roof panels to south east and
south west roof slopes



Street Elevations plots 1 - 4

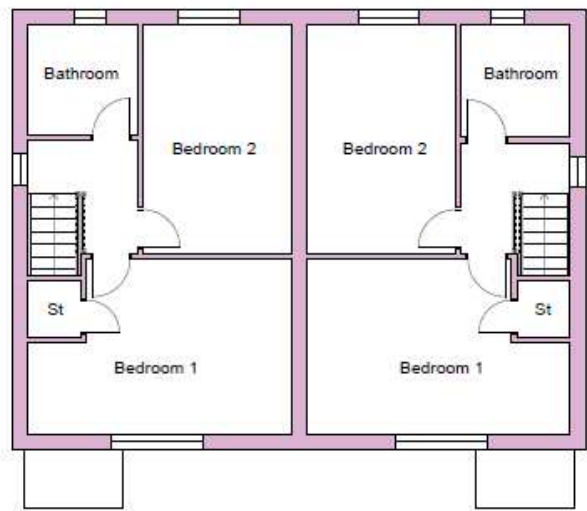


STREET ELEVATION PLOTS 1, 2 & 3
Red multi facing brickwork, vertical composite boarding, red clay pantries, PPC aluminium windows and doors, timber porches



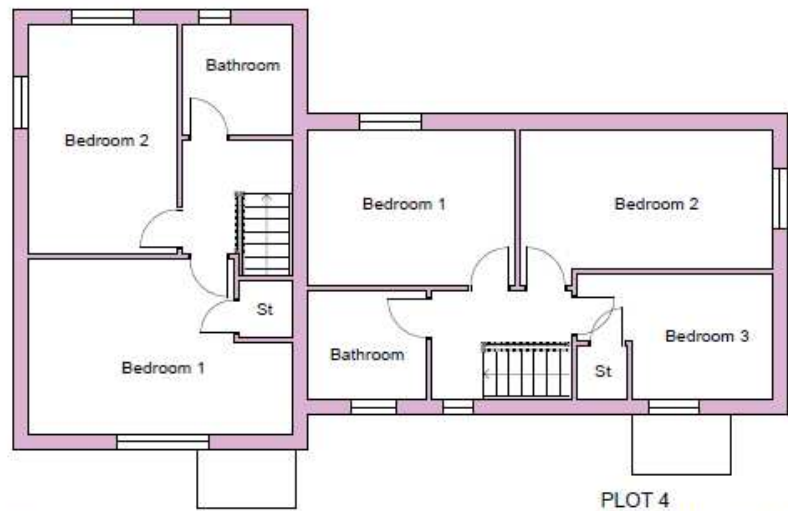
STREET ELEVATION PLOTS 3 & 4
Red multi facing brickwork, red pantries, vertical composite boarding, PPC aluminium composite windows & doors, timber porches

Floor plans plots 1- 4



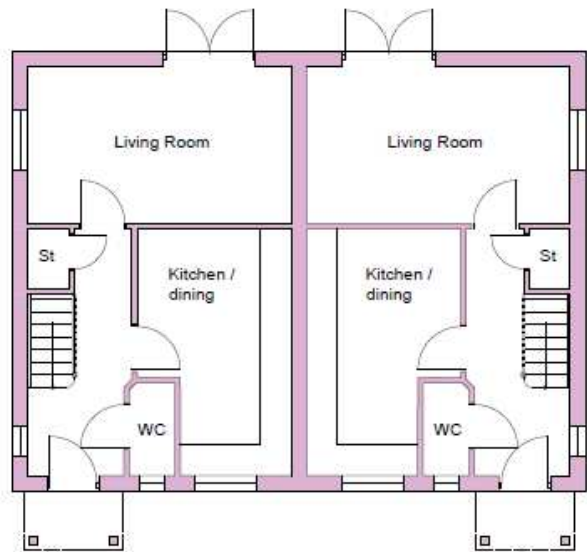
PLOT 2
FIRST FLOORPLAN

PLOT 1
FIRST FLOORPLAN



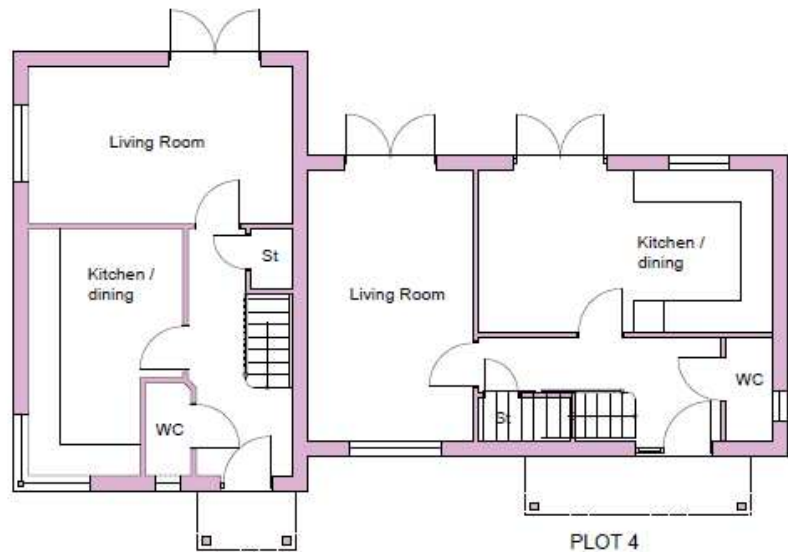
PLOT 3
FIRST FLOORPLAN

PLOT 4
FIRST FLOORPLAN



PLOT 2
GROUND FLOORPLAN

PLOT 1
GROUND FLOORPLAN



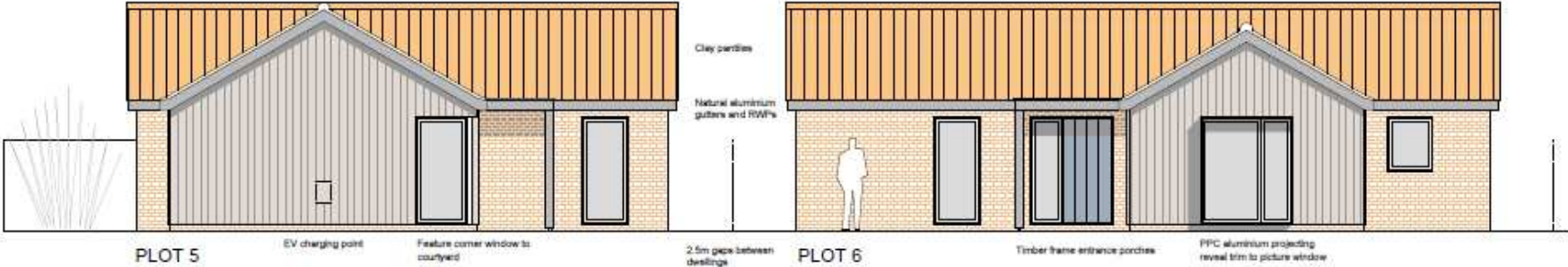
PLOT 3
GROUND FLOORPLAN

PLOT 4
GROUND FLOORPLAN

Street elevations Plots 5 - 7



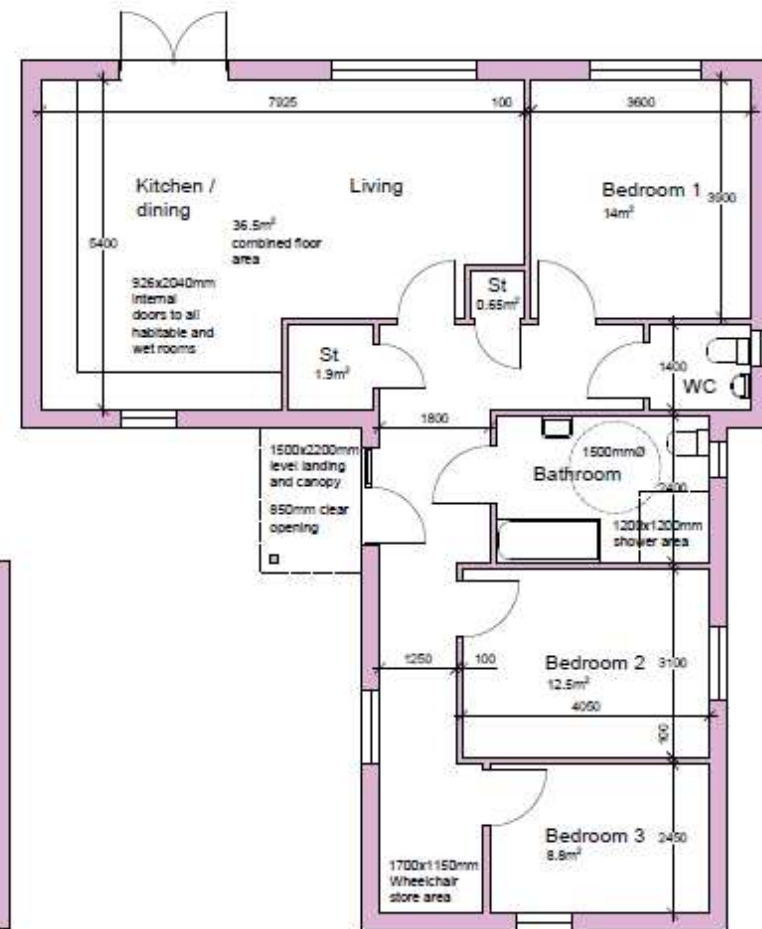
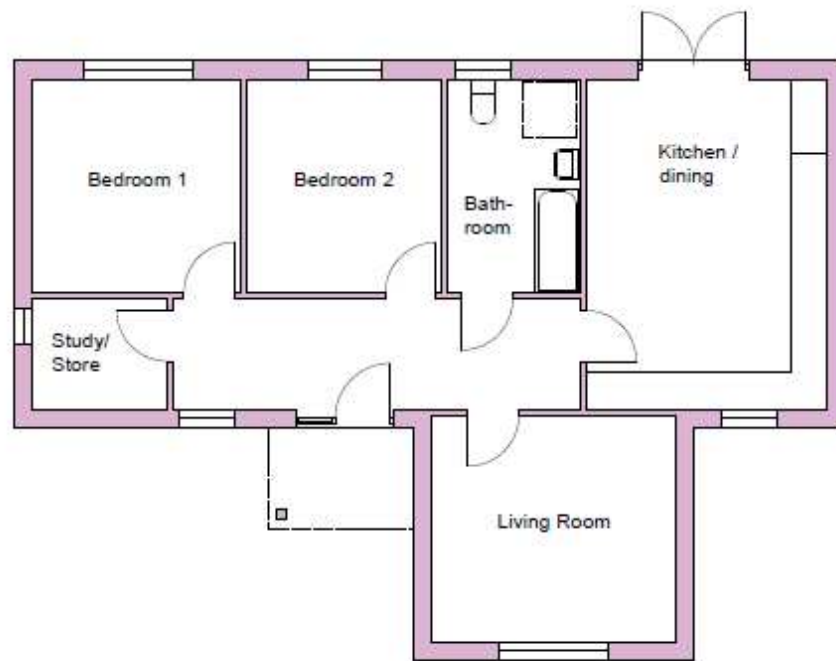
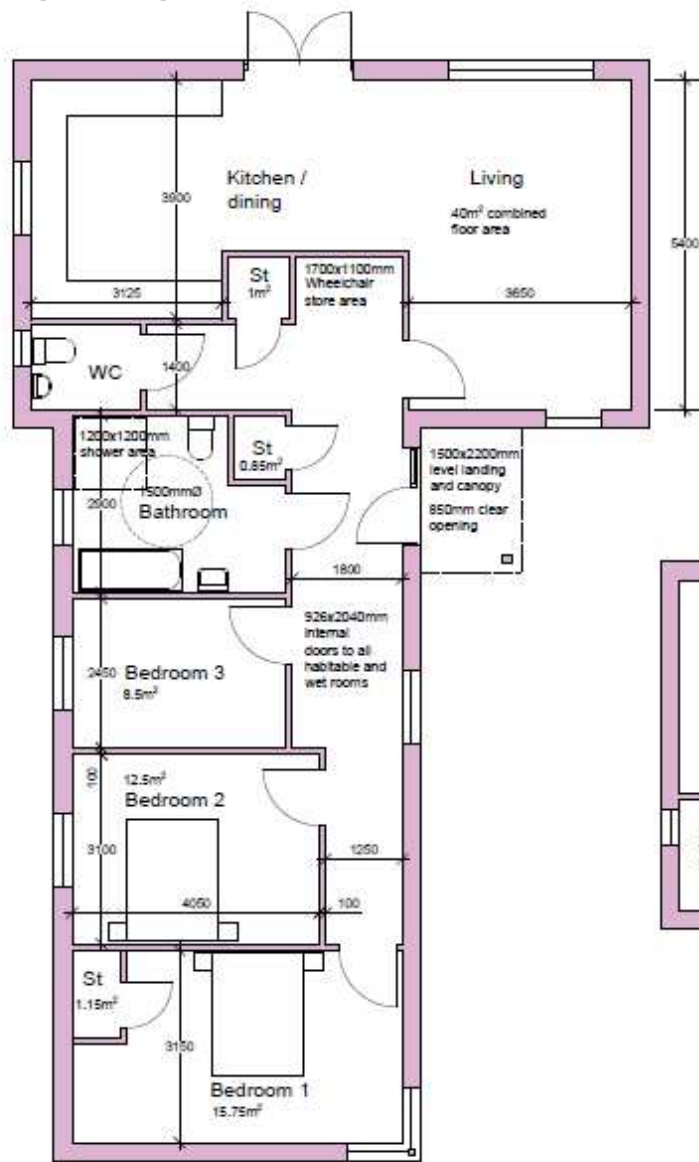
STREET ELEVATION PLOTS 5, 6 & 7
Red multi facing brickwork, vertical composite cladding, red clay pantiles,
PPC aluminium composite windows and doors, timber porches



STREET ELEVATION PLOTS 5, 6 & 7
Red multi facing brickwork, vertical composite cladding, red clay pantiles,
PPC aluminium composite windows and doors, timber porches



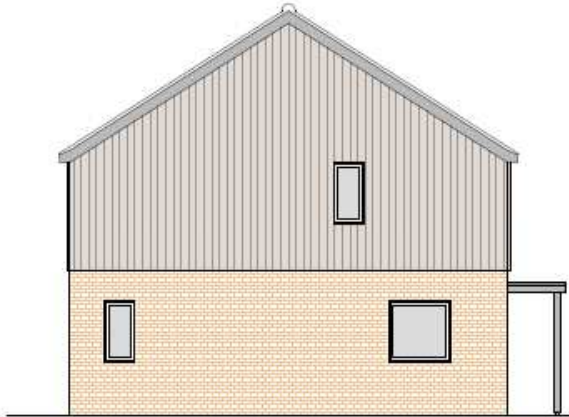
Floor plans plots 5 - 7



Side elevations



SIDE ELEVATION PLOTS 3 & 4



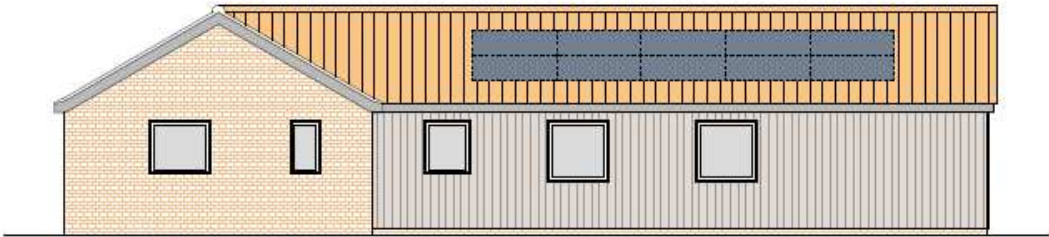
PLOT 1
SIDE ELEVATION (Plot 2 handed)



PLOT 7
EV charging point



PLOT 7



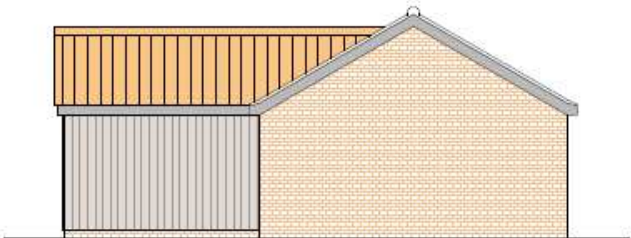
PLOT 5
PV roof panels



PLOT 6
EV charging point

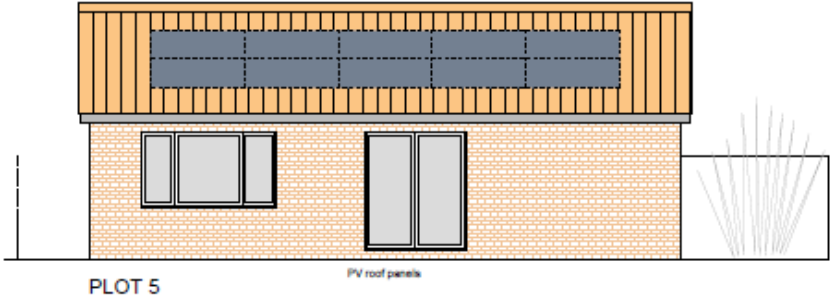
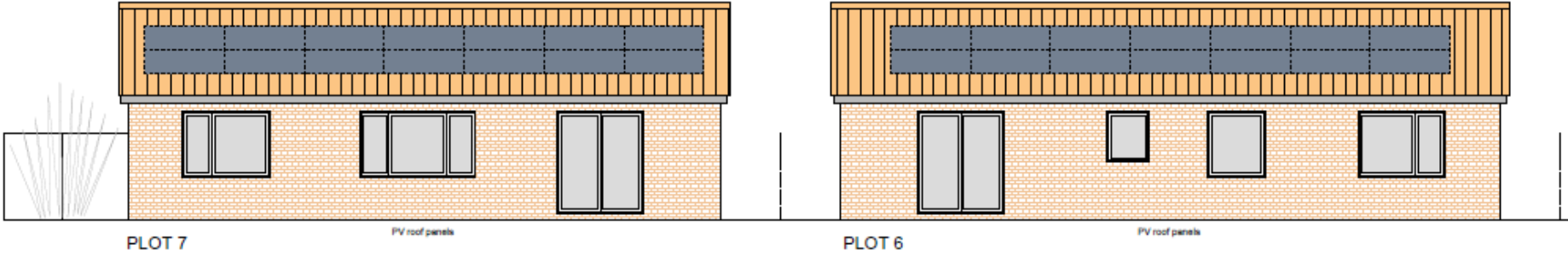


PLOT 5
SIDE ELEVATION PLOTS 5, 6 & 7

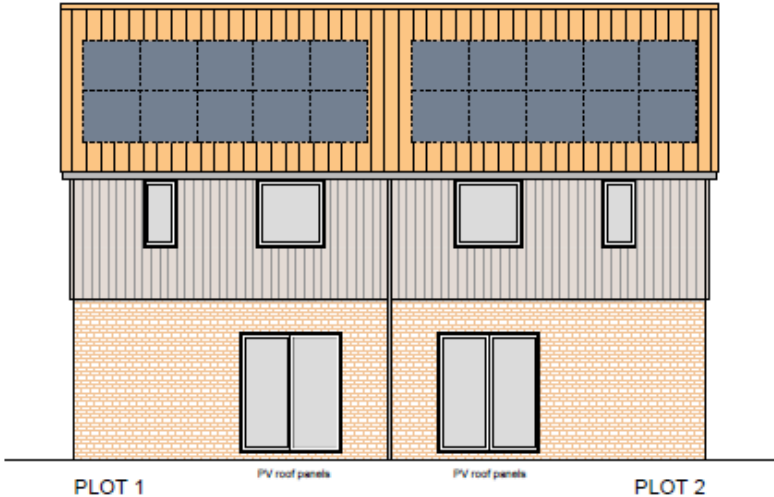


PLOT 6

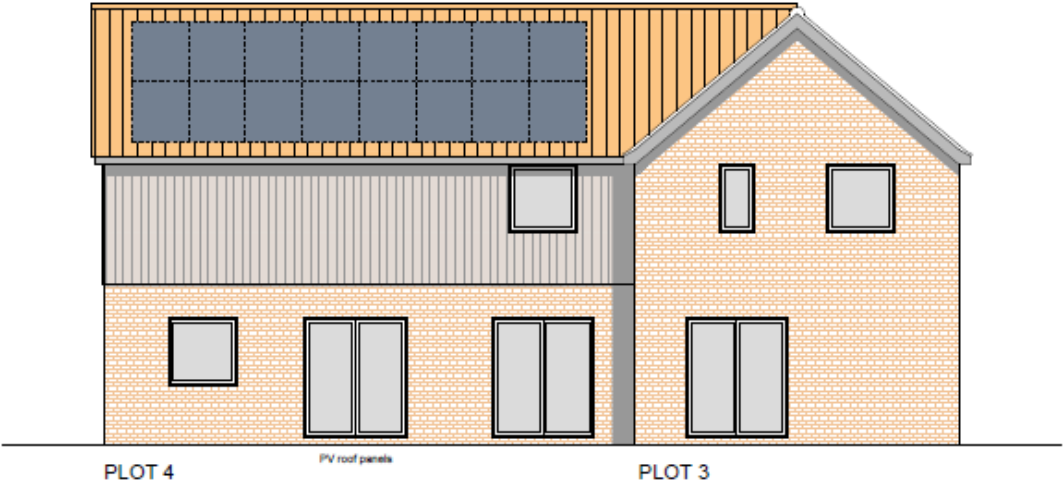
Rear elevations



REAR ELEVATION PLOTS 5, 6 & 7




REAR ELEVATION PLOTS 1 & 2



REAR ELEVATION PLOTS 3 & 4

Material Planning Considerations/Key Issues

- Principle – Compliance with policy WLP7.1 “Rural Settlement Hierarchy and Housing Growth”
 - Design
 - Highway Safety
 - Ecology
 - Neighbour amenity
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Recommendation

Approve; subject to the receipt of RAMS contributions by S111 payment and the conditions on p145 – 152 of the agenda, summarised as:

1. 3 Year Implementation period
2. Approved plans
3. Contaminated land assessment
4. Unexpected contamination
5. In accordance with ecology report
6. Nesting birds
7. Method statement for site clearance
8. Landscape and Ecological Management Plan
9. Archaeology 1
10. Archaeology 2
11. Landscaping details and implementation
12. Visibility splays – vehicles
13. Visibility splays – pedestrians
14. New shared access provision
15. Gradient access
16. Gradient driveway
17. Surface water drainage
18. Manoeuvring and parking
19. Cycle storage/EV
20. Refuse and recycling
21. Construction Management Plan
22. Water efficiency
23. Scheme for affordable housing
24. Remove PD
25. Details of materials