

## Item 6

DC/21/4501/FUL

Hybrid planning application to include: (i) full planning application for retirement living accommodation, car parking, access, landscaping and ancillary development; and (ii) outline planning application with all matters reserved for a community use building and ancillary development

Land at Dairy Farm, Saxons Way, Halesworth



## Reason application is at committee

In accordance with the scheme of delegation, the Head of Planning & Coastal Management has requested that the application is to be determined by Planning Committee North **due to the scale and significance of development, and the proposed recommendation for 'authority to approve'.**

# Update sheet

A number of updates are noted within the associated Update Sheet. In summary, these include:

- Revision to recommendation following further consultation comments from the Council's environmental protection team
- Reference to the Suffolk Design Streets Guide (2022)
- Update to consultation timeframes

# Proposal

This is a **hybrid planning application** that seeks:

- **full planning permission** for retirement living accommodation, car parking, access, landscaping and ancillary development

*Comprising 53 dwellings - 43 apartments and 10 bungalows.*

*It is classed as a typical residential C3 use, albeit a degree of care and support will be provided to residents along with communal facilities, and the occupancy is restricted to persons over 60 years of age.*

- **outline planning consent** with all matters reserved for a community use building and ancillary development

## Other aspects of the proposal

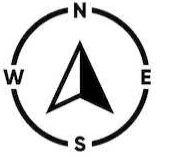
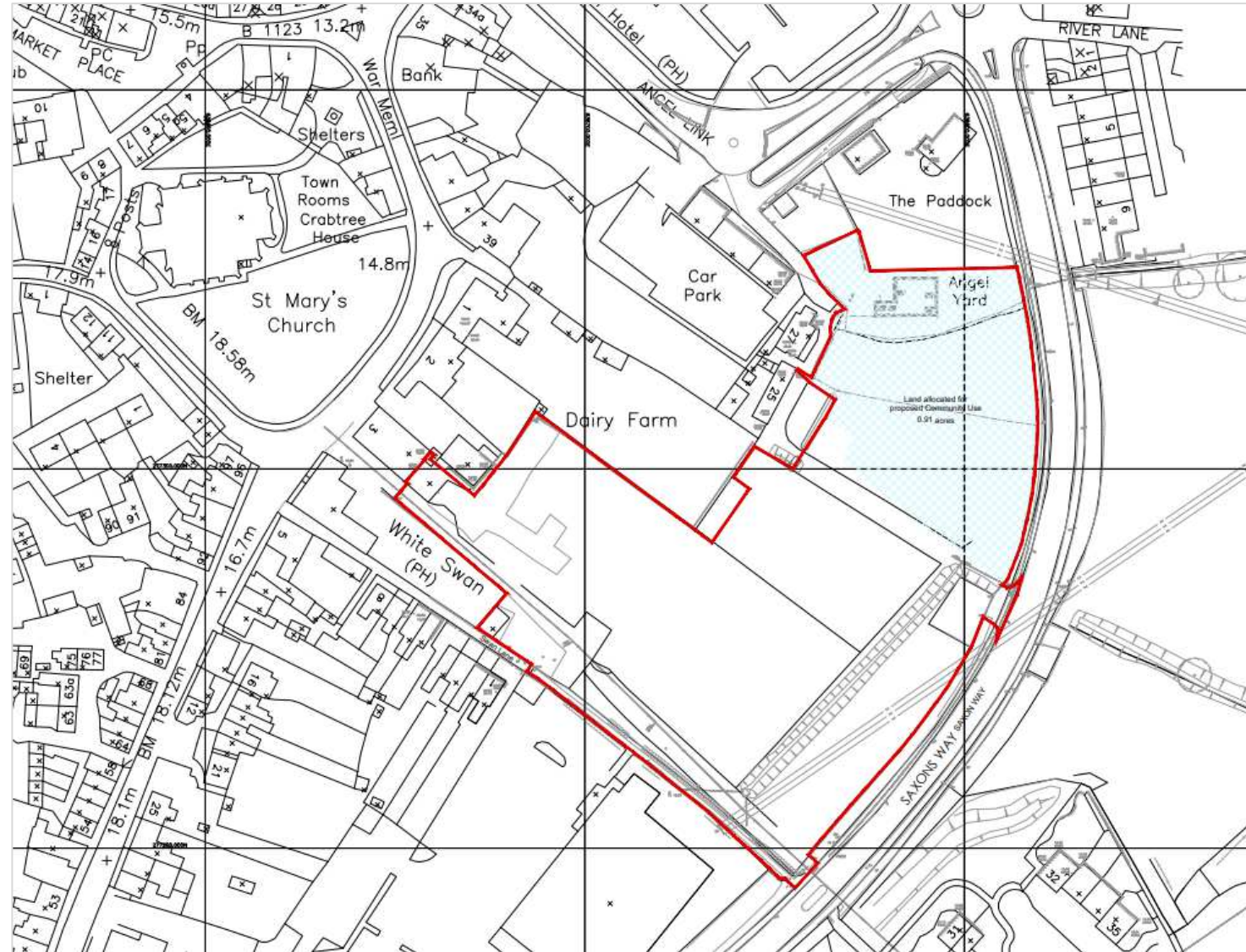
**Other elements included within the proposed layout as shown on MI-2758-03-AC-003(02) Rev. M. include:**

- Formation of vehicular access off Saxons Way, with a three-metre-wide shared path along the southern side and two-metre-wide path along the northern side
- A three-metre-wide shared cycle/pedestrian path from Swan Lane to the community land (restricted to 2m along the access hammer head – re-design requested)
- Widening of Swan Lane to two meters along the site boundary, with two relief sections for passing users
- Updates to the Swan Lane/Saxons Way pedestrian crossing – *details to be secured via a condition and delivered by way of a Section 278 agreement with the Highway Authority*
- Additions to the existing boundary around the pub garden to form an acoustic barrier
- Site-wide drainage features – including two swales, permeable paving, drain trench, greywater harvesting, an attenuation tank (for future users), pumping station, and adopted sewer (with three-metre easement)

# Site context

The site is located to the west of Saxons Way, on the south east side of Halesworth.

It measures approximately 1.44 hectares and spans from Swan Lane (Footpath 3) on its southern boundary, along the western edge of Saxon Way and north towards Angel Link.





## Site context

The majority of the site is currently vacant and overgrown, with the northern aspect occupied by a tyre fitting business. The L-shaped site is sited centrally within the town, with Saxons Way (A144) along the southern boundary, a supermarket and residential properties (fronting Swan Lane) to the south-west, and a public house and residential dwellings to the northern aspects (fronting London Road). It also has a countryside edge on the meadows and Millennium Green to the east.





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## Site photos



## Site photos





## Site photos





## Site photos



## Site photos





## Site photos





## Site photos



## Site photos





## Site photos





## Site photos



## Site photos





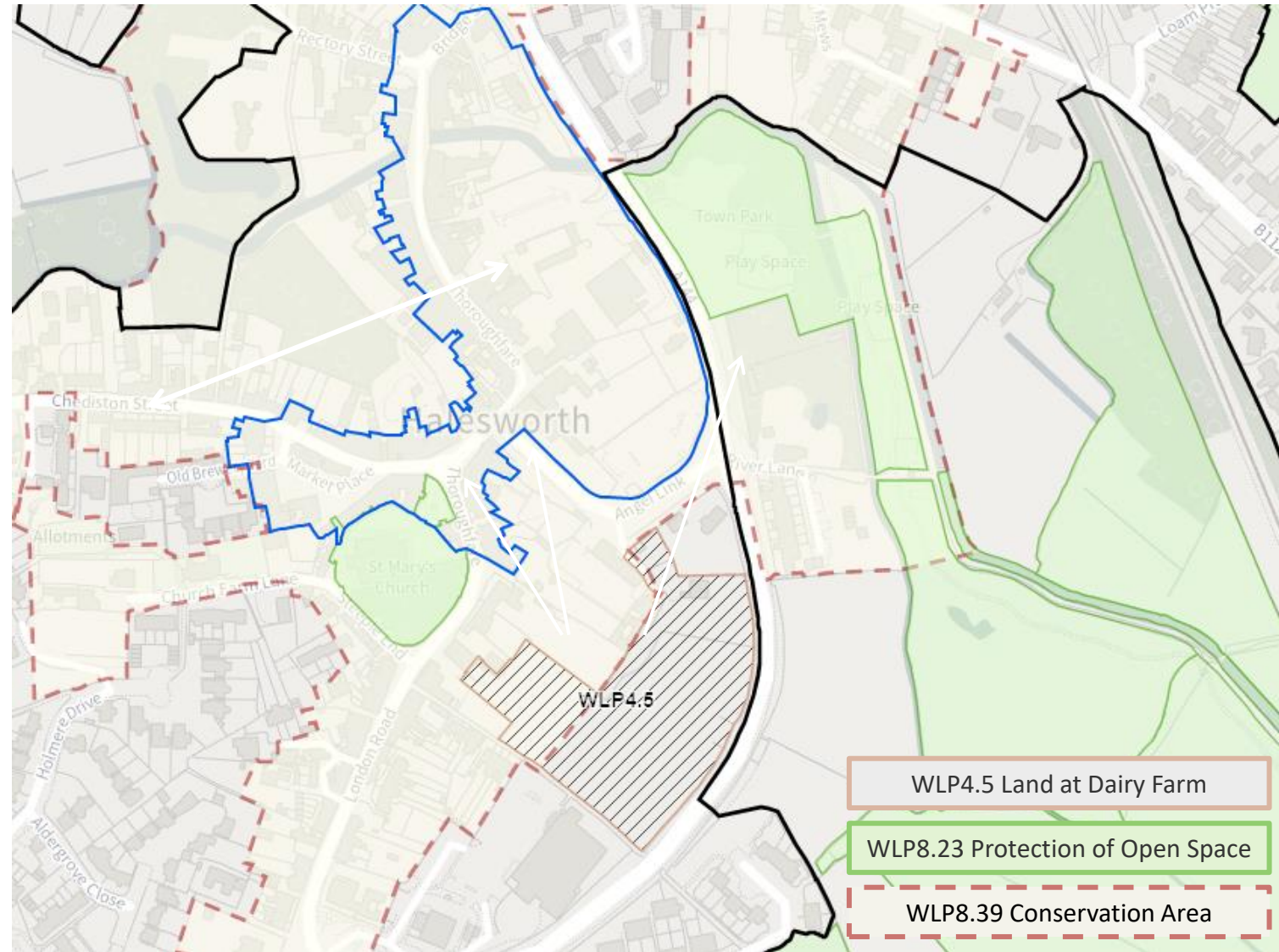
## Site photos





# Policies map

The site is allocated in the East Suffolk Council - Waveney Local Plan (2019) under policy WLP4.5 for residential development to the south (approximately 40 dwelling) and community/pre-school use to the north.



## Site allocation – policy WLP4.5

The local plan describes the site as being of considerable importance as it is one of the last remaining development opportunities in close proximity to the town centre

It advises that to accommodate the level of growth planned for Halesworth and Holton and associated community need, a new community facility and pre-school setting is required

### Policy WLP4.5 – Land at Dairy Farm, Saxons Way, Halesworth

Land at Dairy Farm, Saxons Way, Halesworth (1.44 hectares) as identified on the Policies Map is allocated for a residential development of approximately 40 dwellings and a community centre and pre-school setting.

The site should be developed in accordance with the following site specific criteria:

- The south of the site (1 hectare) should be developed for 40 dwellings at a density of 40 dwellings per hectare.
- Housing development on this site should help to facilitate the community centre and pre-school on the northern part of the site (0.44 hectares).
- Good footpath and cycle provision should be provided through the site, linking development with the town centre, residential areas and wider rights of way network.
- Development should conserve and enhance the conservation area and the setting of adjacent and nearby heritage assets.
- A heritage impact assessment undertaken by a suitably qualified person will be required as part of any planning application.

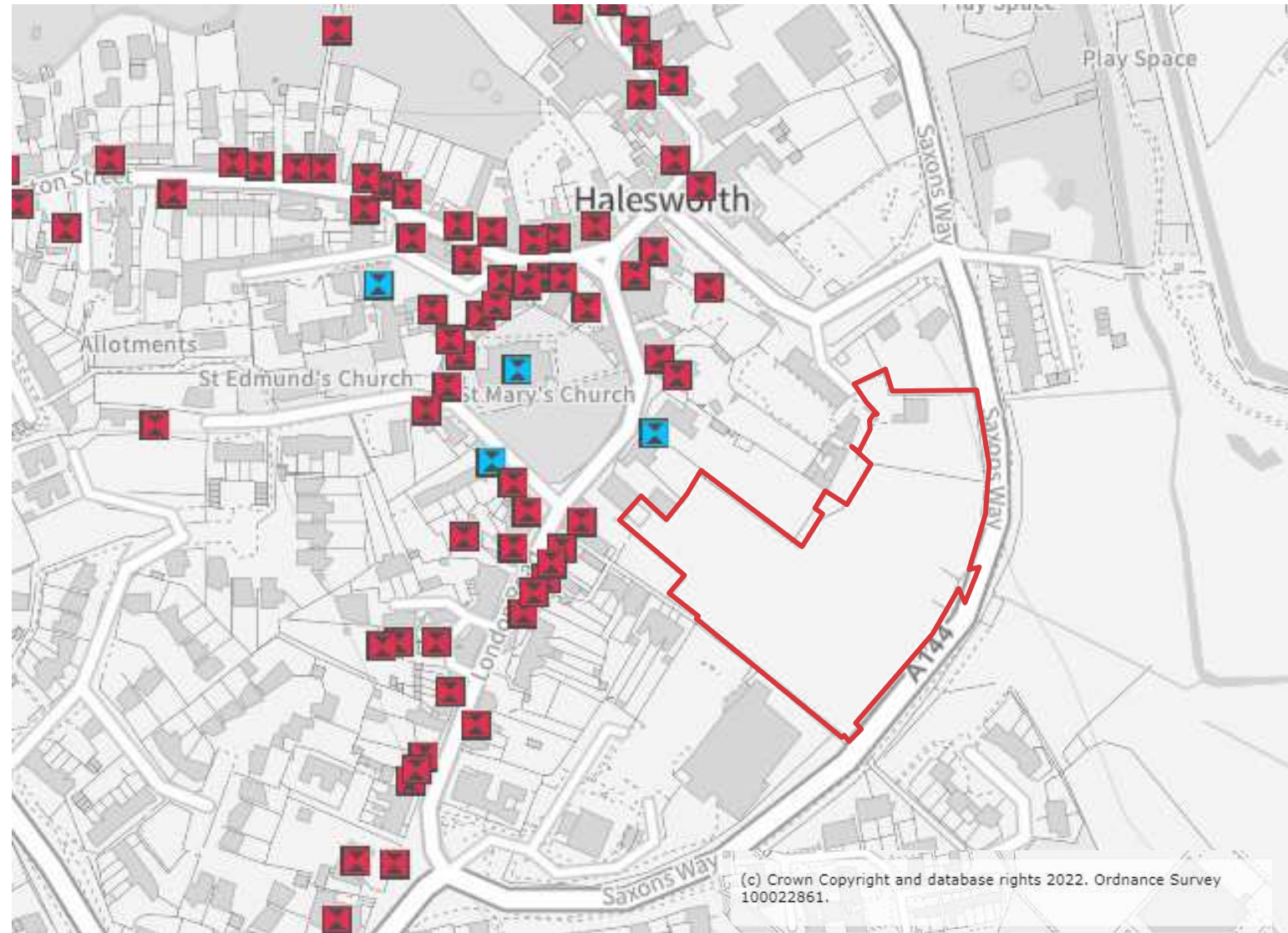
An ecological assessment undertaken by a suitably qualified person will be required as part of any planning application. No vegetation clearance should take place until the results of the assessment are completed and any necessary mitigation measures are in place. Clearance of scrub should be undertaken outside of the bird breeding season and any loss of BAP species habitat should be compensated for.

Land for the community centre and pre-school setting will be transferred to the Council in accordance with the payment in kind provisions of Regulation 73 of the Community Infrastructure Regulations 2010 (as amended).



## Site context: Heritage

The site lies partly within Halesworth Conservation Area and is adjacent/in close proximity to a number of designated and non-designated heritage assets including the Grade II\* listed Gothic House, and the Grade II\* listed St. Marys Church



## Site context: Archaeology

The site lies in an area of archaeological potential recorded on the County Historic Environment Record (HER) and has been subject to an archaeological evaluation that identified finds and features that could be attributed to Saxon and medieval occupation of Halesworth.

There is very high potential for the discovery of below-ground heritage assets of archaeological importance within this area.



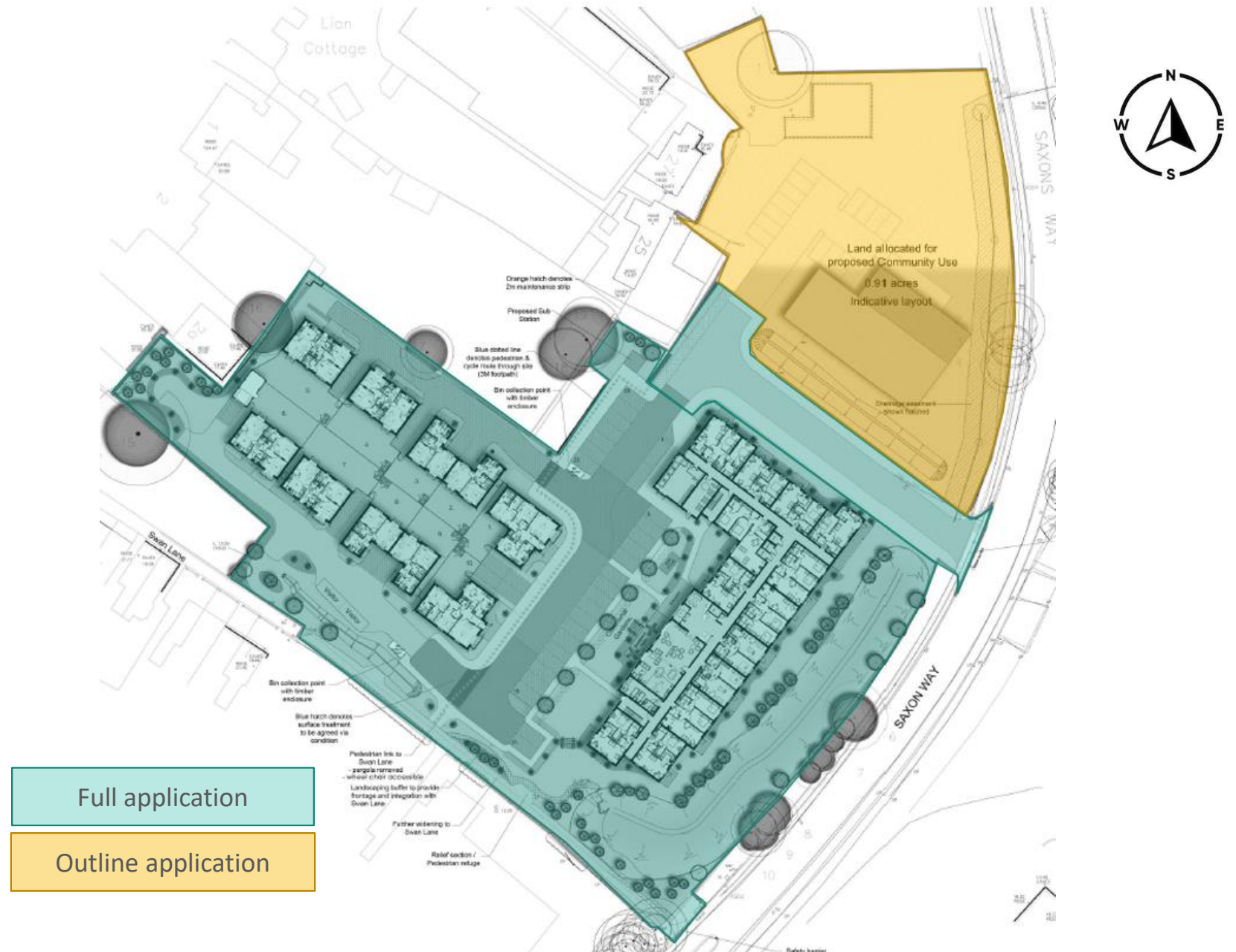


# Proposal

This hybrid application proposes the following:

**Full planning permission** for retirement living accommodation, car parking, access, landscaping and ancillary development

**Outline application** with all matters reserved for a community use building and ancillary development



# Proposed site plan

The site (measuring approx. 1.44ha) is divided in two by a proposed vehicular access off Saxons Way

The residential element of the application is located on the southern aspect of the site and measures approximately 1.07 hectares, with an area for community/pre-school use to the north measuring approximately 0.37 hectares





# Proposed site plan - residential







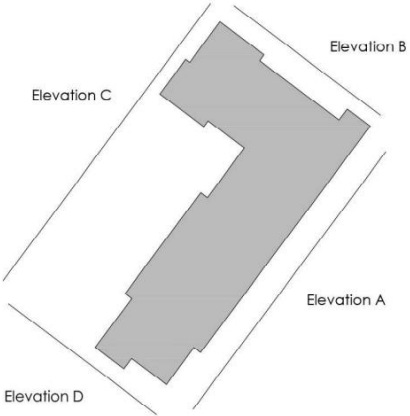
ELEVATION A



ELEVATION B

### Material Schedule

1. Red Facing Brick
2. Grey Clay Roof Tiles
3. Cream Render
4. Contrasting stretcher course
5. Brick Voussoirs
6. Stone Header
7. Stone Cil
8. UPVC mock sash windows
9. Red Ridge Tile
10. Corbelled Eaves
11. Georgian Door Surround
12. Artificial Chimney







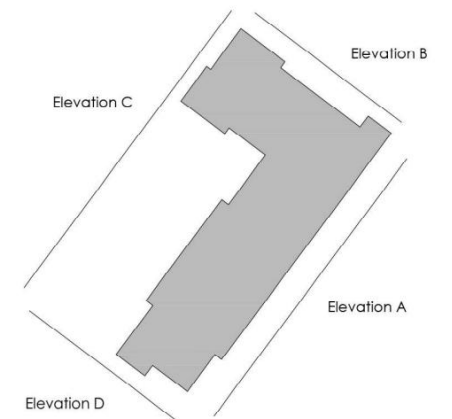
ELEVATION C



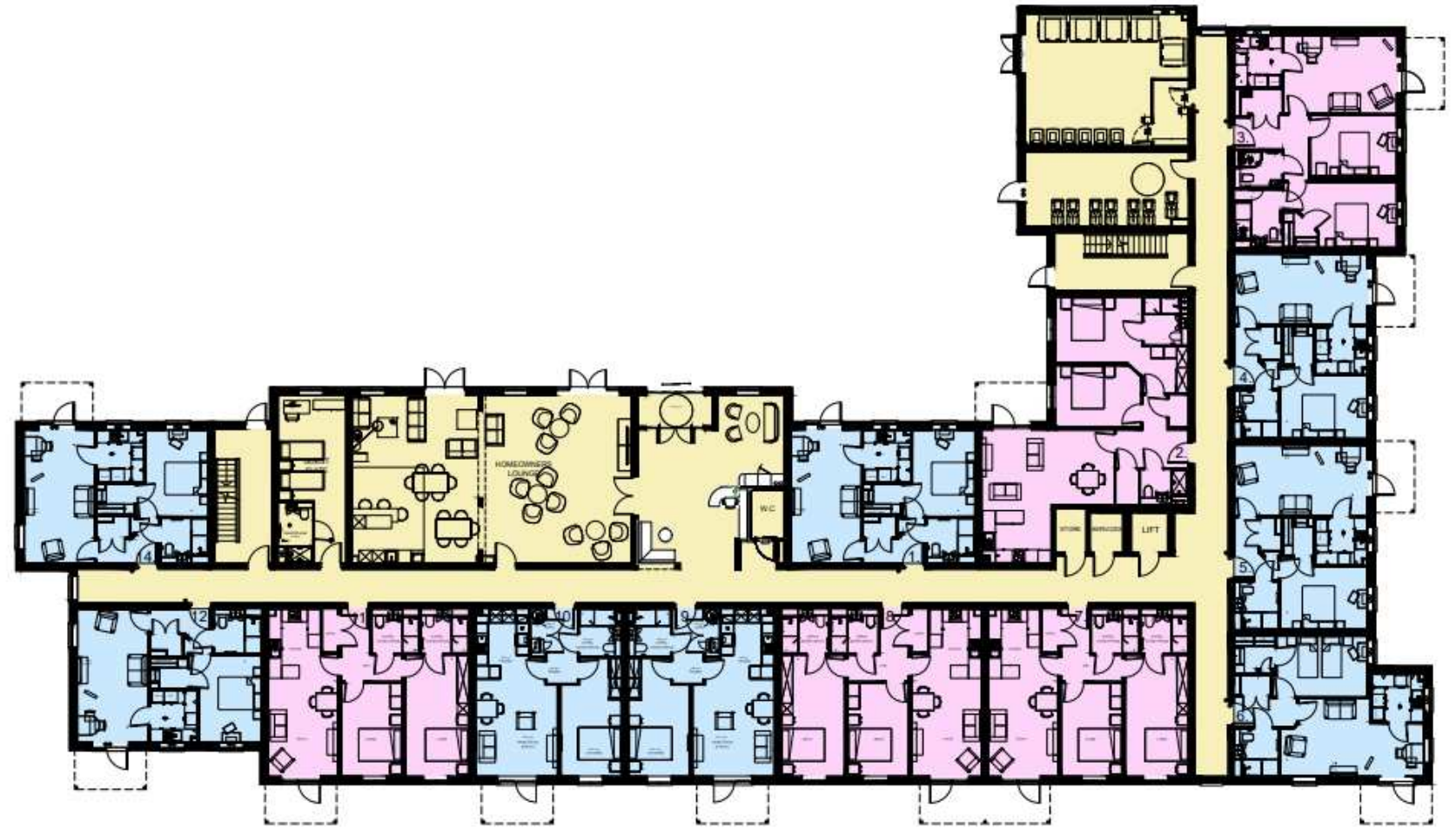
ELEVATION D

### Material Schedule

1. Red Facing Brick
2. Grey Clay Roof Tiles
3. Cream Render
4. Contrasting stretcher course
5. Brick Voussoirs
6. Stone Header
7. Stone Cil
8. UPVC mock sash windows
9. Red Ridge Tile
10. Corbelled Eaves
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12. Artificial Chimney



## Apartment block: Ground floor plan



8 no. 1 bed apartments

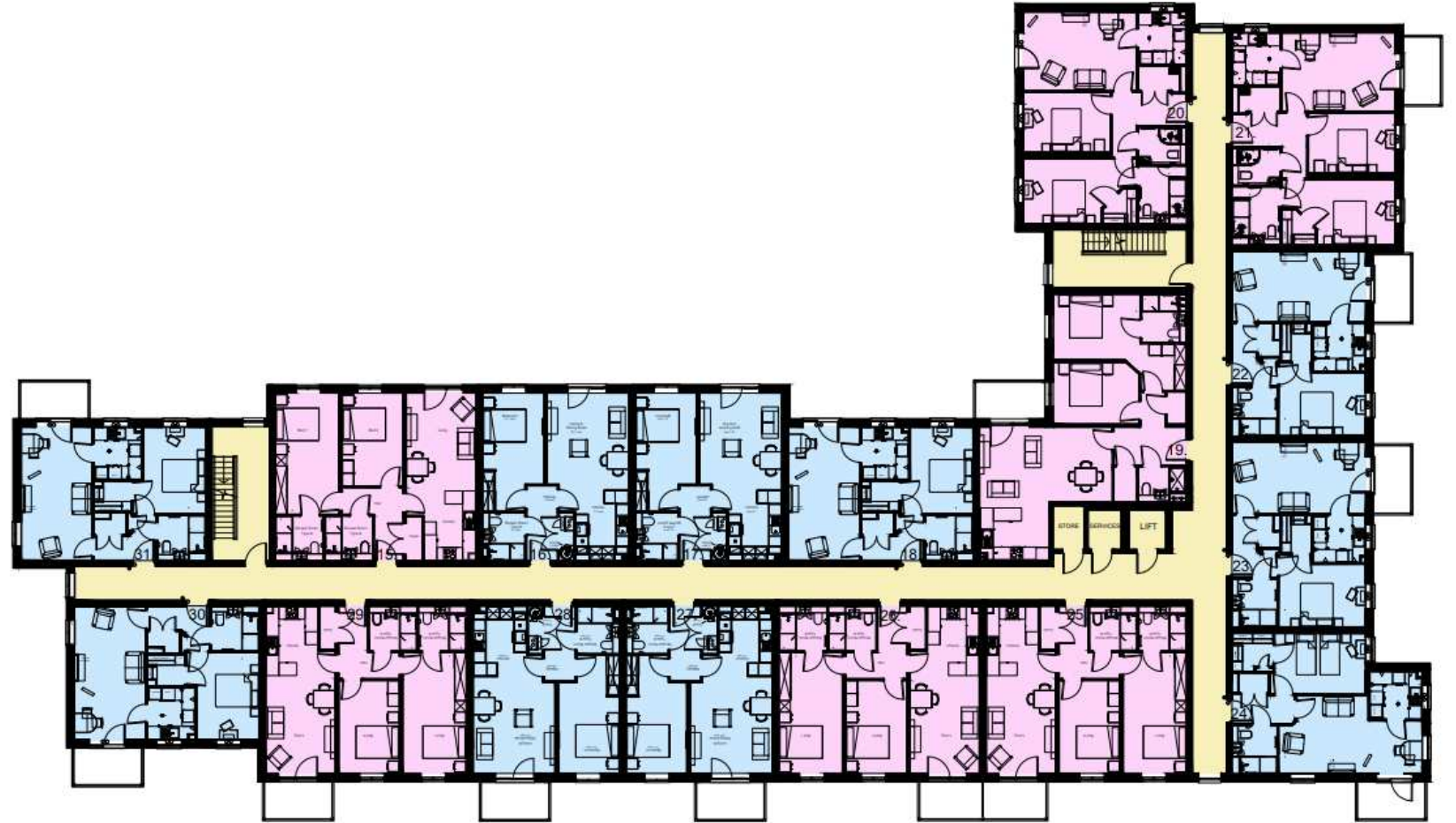


5 no. 2 bed apartments





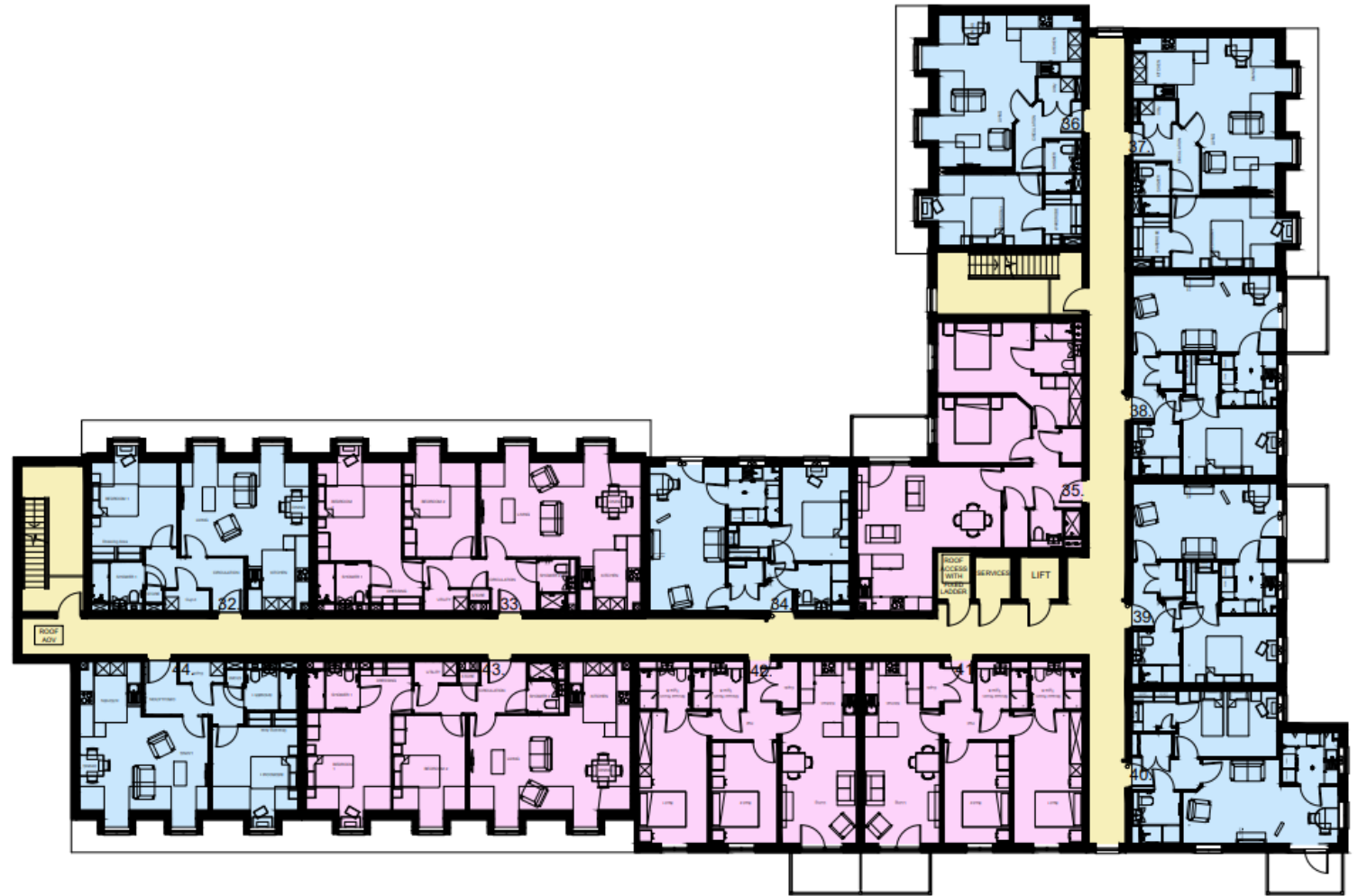
# Apartment block: First floor plan



10 no. 1 bed apartments

7 no. 2 bed apartments

## Apartment block: Second floor plan



8 no. 1 bed apartments

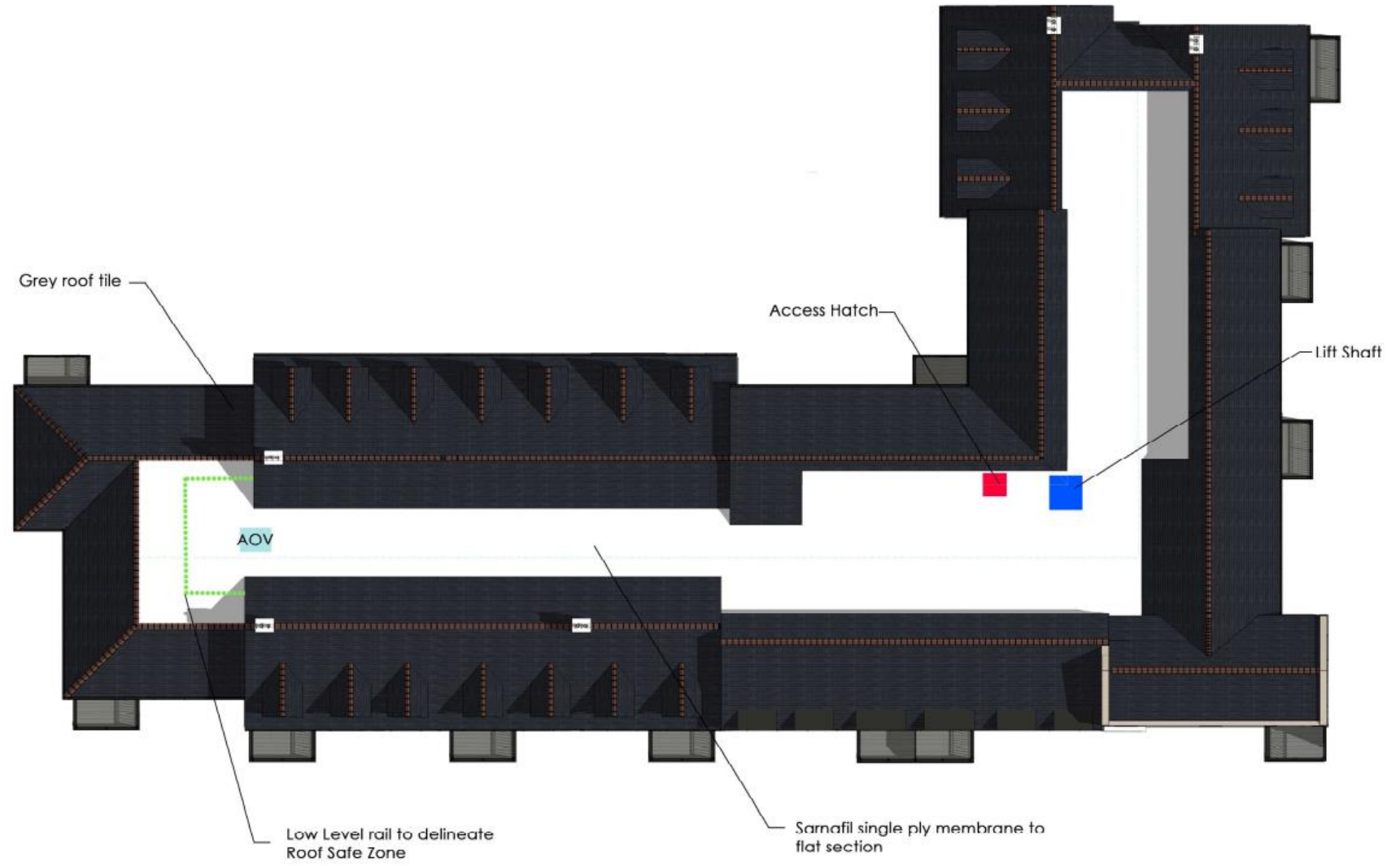


5 no. 2 bed apartments





# Apartment block: Roof plan



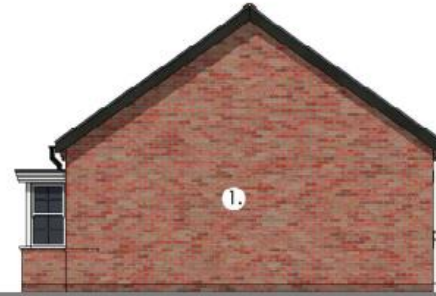
# Bungalow B1

## Two-bedrooms

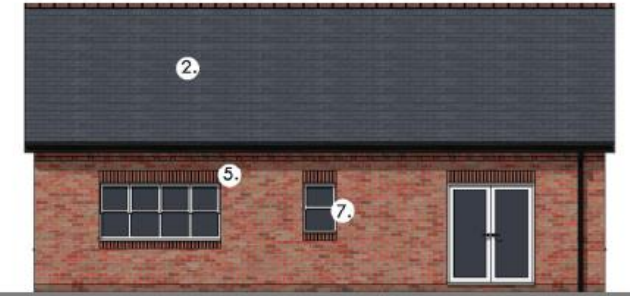
### Plots 4, 5, 6 & 7



Proposed Front Elevation



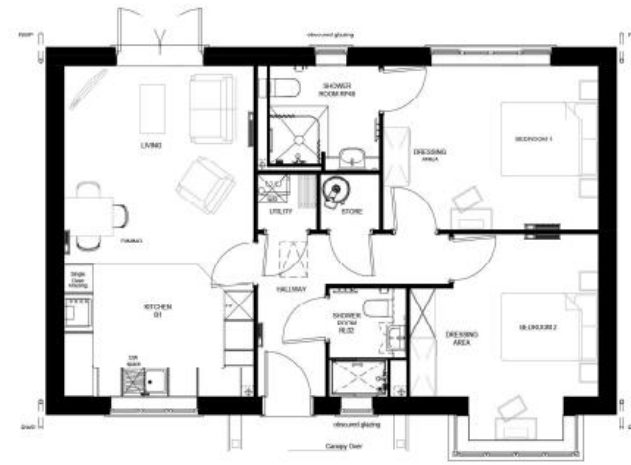
Proposed Side Elevation



Proposed Rear Elevation

## Material Schedule

1. Red Facing Brick
2. Grey Clay Roof Tiles
3. Brick Band
4. Brick Voussoirs
5. Brick Soldier Course
6. Stone Cill
7. UPVC Mock Sash Windows
8. Corbelled Eaves



Proposed Floor Plan



Proposed Side Elevation



# Bungalow B2 Two-bedrooms Plots 1 & 10



Proposed Front Elevation



Proposed Side Elevation

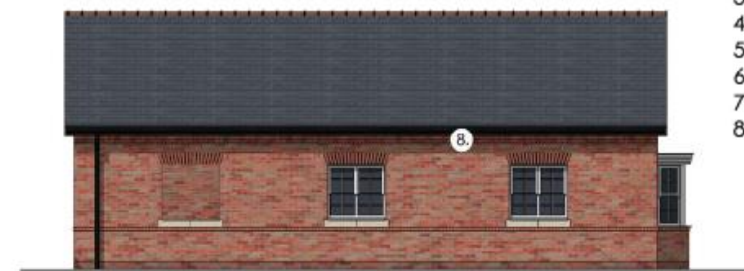


Proposed Rear Elevation



## Material Schedule

1. Red Facing Brick
2. Grey Clay Roof Tiles
3. Brick Band
4. Brick Voussoirs
5. Brick Soldier Course
6. Stone Cill
7. UPVC Mock Sash Windows
8. Corbelled Eaves



Proposed Side Elevation

# Bungalow B3 One-bedroom Plots 2, 3, 8 & 9



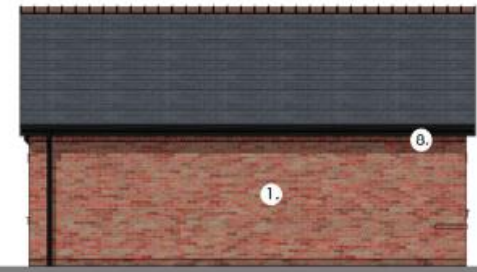
Proposed Front Elevation



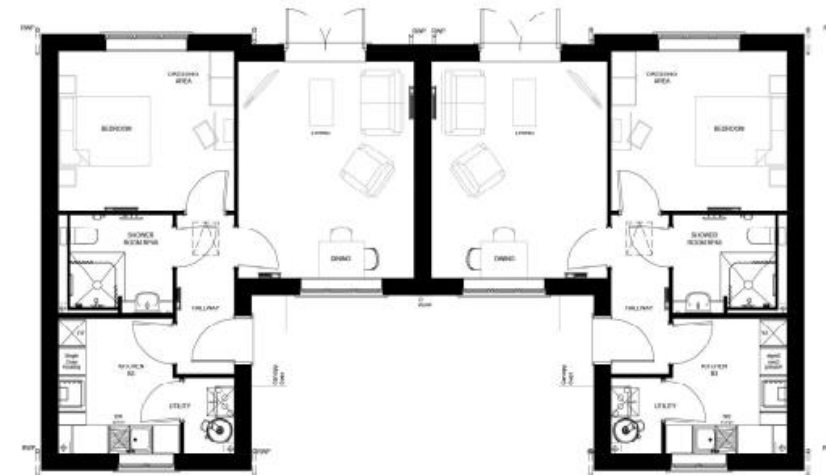
Proposed Side Elevation



Proposed Rear Elevation



Proposed Side Elevation



Proposed Floor Plan

## Material Schedule

1. Red Facing Brick
2. Grey Clay Roof Tiles
3. Brick Band
4. Brick Voussoirs
5. Brick Soldier Course
6. Stone Cill
7. UPVC Mock Sash Windows
8. Corbelled Eaves



# Housing density

- The allocation policy notes that *“the south of the site (1 hectare) should be developed for 40 dwellings at a density of 40 dwellings per hectare”*.
- The proposal exceeds this figure in terms of the quantity of dwellings (53 dwellings), resulting in a density of approximately [50 dwellings per hectare](#).
- This exceedance in density is due to the proposed house types, with the inclusion of a higher-density apartment building that provides a total of 43 units.
- In principle, the higher density is not objectionable given the town centre location and a desire for efficient use of land in sustainable locations.
- The increase is acceptable providing that the development makes best use of the site in a manner that protects or enhances the distinctiveness and character of the area and takes into account the physical environment of the site and its surroundings.
- *This notion is further supported by para. 119 of the NPPF, which encourages planning decisions to “promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions”.*

## Housing mix

The proposal comprises a total of 53 dwellings - *as shown in the below table.*

	One-bed	Two-bed
Apartment	26	17
Bungalow	4	6
<b>Total</b>	<b>30</b>	<b>23</b>

In terms of housing mix, the proposal achieves the 'at least' 35 percent requirement for all new homes to be one- or two-bedroom properties, as set by policy WLP8.1.

On the basis of the considerations set out within the reporting, the proposed mix of one- and two-bedroom apartments and bungalows exclusively as retirement properties is considered acceptable.



## Affordable housing and viability

In this instance, the applicant has provided a Financial Viability Assessment (by Alder King, dated 22 October 2021) that concluded that the proposal for 53 retirement living units ***“leads us to conclude there is no financial headroom available for planning obligations, after accounting for the anticipated gross sales receipts and all reasonable aspects of the outlay necessary, including payment of CIL (£306,293) and the transfer of the community land to the Council.”***

In response, the local planning authority (LPA) instructed BNP Paribas Real Estate to conduct an independent review of the viability conclusions. The reporting concluded the following:

*“AK have concluded that the proposed Development with 100% private housing generates a deficit of - £552,467 against the viability benchmark. We have undertaken an assessment of the proposed Development with 100% private housing. **Taking into account the recommended amendments outlined in Section 5.2 of this report, we have concluded that the proposed Development with 100% private housing generates a deficit of - £191,137 against the viability benchmark.** We understand that the Applicant has proposed a commuted sum payment of £250,000. We consider this proposal to be reasonable in viability terms. For the reasons outlined in Section 5.4, we recommend the Council include both early and late stage review mechanisms within the Section 106 Agreement. The review mechanism should take into account any deficit currently identified in addition to any payment in lieu proposed by the Applicant.”*

## Affordable housing and viability

With due consideration to the content of the independent review and concluding statement, the LPA are satisfied that the requirements under Appendix 5 of the local plan have been met, and the justification of zero affordable housing units within the scheme is deemed acceptable.

The commuted sum, proposed by the applicant, will be secured via a s106 agreement.

*Note: More recently, as a result of Saxon Way crossing proposals proposed to meet the Neighbourhood Plan expectation, the offered commuted sum payment has been reduced to £230,000, this remains acceptable to the Council.*



## Design and heritage

Given the sensitivity of the location, the Council's Principal Design & Conservation Officer has provided a substantial review of the proposal both in terms of design quality and the historic environment. Their input was also part of the pre-application discussions, aiding in the shaping of the design of the development.

Overall, it is considered that matters relating to the scale of development and layout of built form in relationship with the historic environment, neighbouring conservation area and key views has been satisfactorily addressed. Further design detail relating to material types and other architectural features will be secured via condition to ensure a high standard of design quality is delivered and thereafter maintained.

**The LPA acknowledges Historic England's latest comment in respect of their concerns on heritage grounds; however, considering that the Principal Design & Conservation Officer is now content with the scheme, we are satisfied that the scheme is deemed acceptable.**

The only heritage harm resulting from this development is a low level of less-than-substantial harm on the setting of the Grade II\* listed Gothic House. Paragraph 202 of the NPPF requires that "Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use". In this case the proposed development provides for a significant housing contribution, particularly for older living needs and it will deliver a significant benefit to the community in the form of serviced land for community development. As an allocated site, positively providing housing and community benefits, these demonstrably outweigh a low level of less-than-substantial harm.

## Landscape and arboriculture

The Council's Arboriculture and Landscape Manager has reviewed the submitted tree and landscape details that accompany this application, along with potential landscape impact effects, and **raises no objection to the proposal subject to conditions.**

Due to the recent site layout design changes to accommodate the inclusion of cycle/walking infrastructure provision, as well as sustainable drainage features, the detailed landscaping and planting plans require updating.

*Note: If these are not received prior to determination of the application, they will be secured by way of pre-commencement condition(s) to ensure the implementation of a well-laid out and properly maintained landscaping scheme in the interest of visual amenity.*

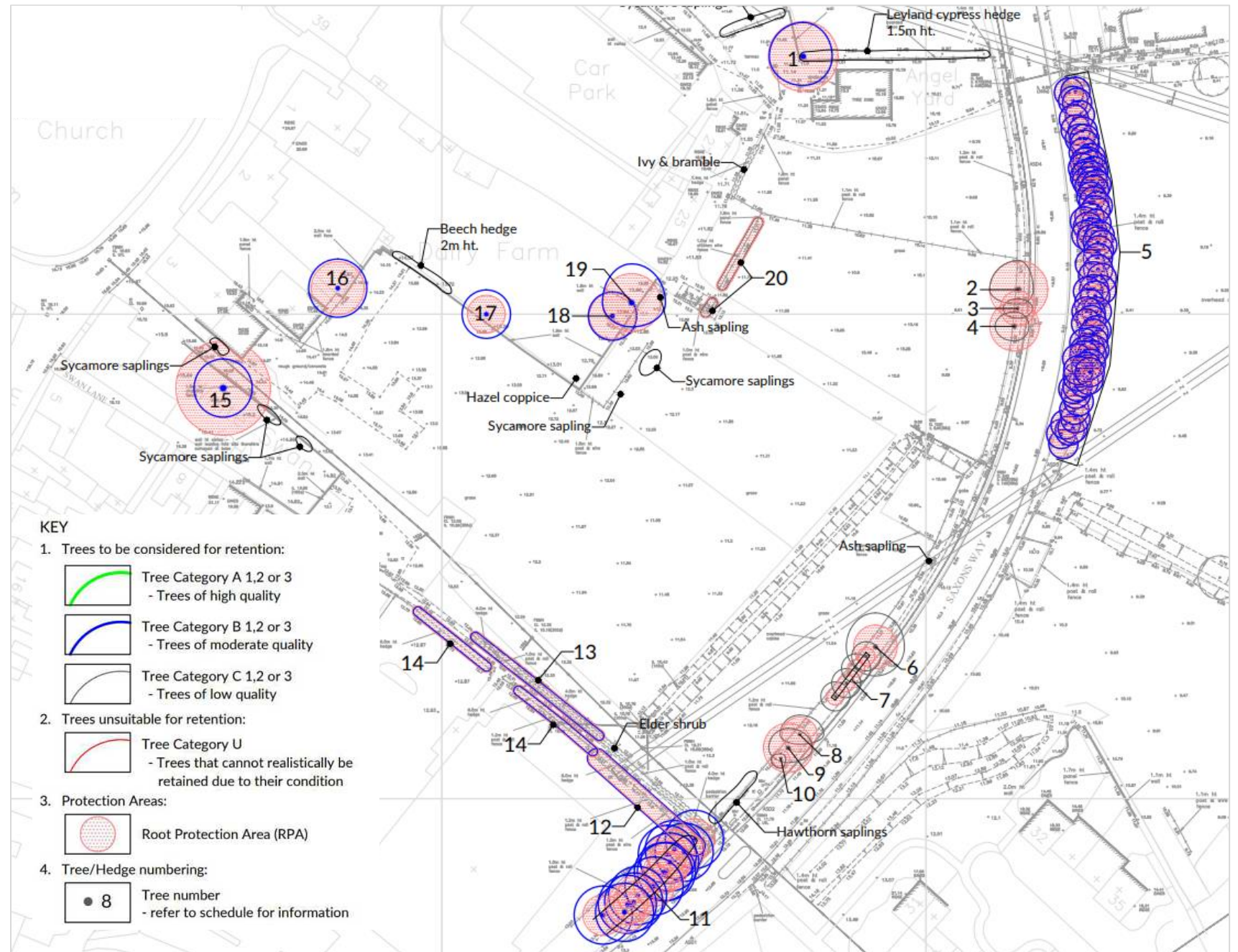
**Further consideration taken into account:**

- special qualities and local distinctiveness of the area;
- the visual and historical relationship between settlements and their landscape settings; visually sensitive skylines including significant views towards key landscapes and cultural features;
- the protection and enhancement of green infrastructure connectivity;
- dark skies; and
- the pattern of distinctive landscape elements (e.g., watercourses, trees and field boundaries) and their function as ecological corridors

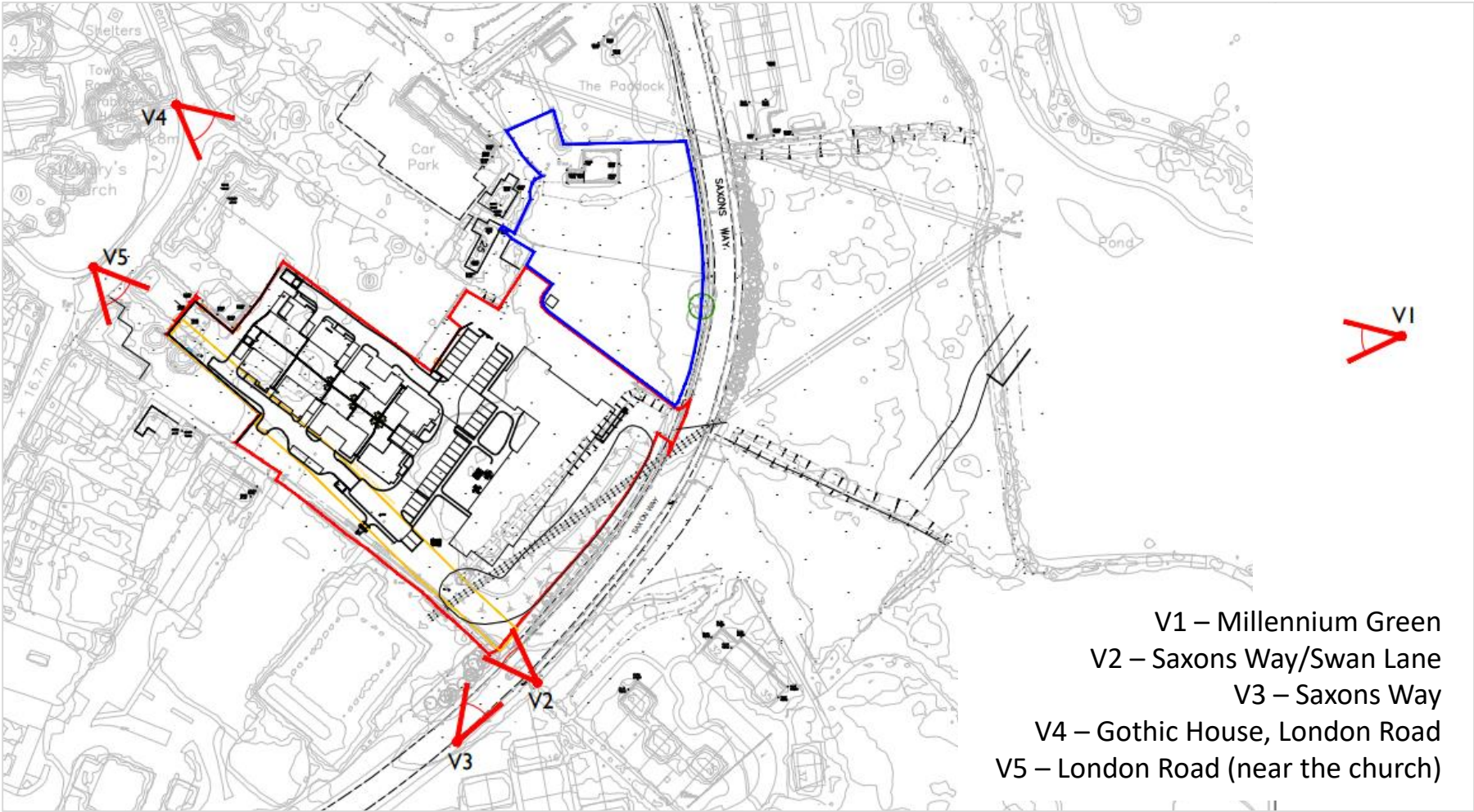


# Tree survey plan

To inform the landscape proposals



# Visually verified montages





V1 – Millennium Green





V2 – Saxons Way/Swan Lane





V3 – Saxons Way

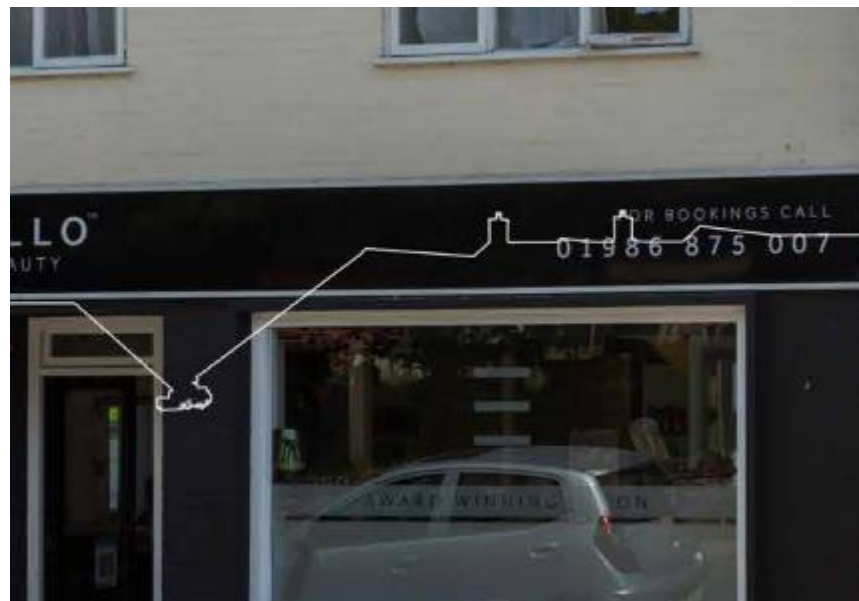




V4 – Gothic House II\*, London Road







## Ecology – reptile surveys, HRA and RAMS

The survey findings and conclusions reached within the submitted reports confirm that the proposed development will result in the loss of habitats suitable for protected and UK Priority species and will result in a net loss of biodiversity units from the site, primarily as a result of the change from scrub and grassland habitats to buildings and hard surfacing.

Whilst some mitigation measures can be achieved both onsite and offsite (primarily for reptiles), there will be **a local biodiversity loss as a result of the proposed development.**

In this case the effects are not so great to be considered an adverse impact and as an allocated site there are no expectations or current mechanisms for off-site mitigation – nevertheless, the loss of the habitat should be considered an impact to be balanced into decision making.

*A pre-commencement (including site clearance) condition is also required for a method statement relating to the translocation of reptiles, to ensure they are adequately relocated from the site and protected as part of the development; and Suffolk Coast RAMS financial contribution will be secured via the s106 agreement.*

# Archaeology

Suffolk County Council archaeological service has advised that there are no grounds to consider refusal of permission in order to achieve preservation in situ of any important heritage assets.

However, in accordance with the para. 199 of the NPPF and local plan policy WLP8.40, any permission granted should be the subject of a planning condition to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed.

Conditions of consent will request a **Written Scheme of Investigation**, along with a **site investigation and post investigation assessment**, to ensure the safeguarding of archaeological assets within the approved development boundary from impacts relating to any groundworks associated with the development scheme and to ensure the proper and timely investigation, recording, reporting and presentation of archaeological assets affected by the development.

*Conditions will apply to the entire site and will need to be fully discharged prior to the transfer of land to the town council.*



## Residential amenity

The proposed layout and height of development in relation to existing neighbouring uses ensures that impacts to residential amenity is negligible.

In terms of the amenity for future residents, numerous apartments benefit from external private amenity space in either a terrace or balcony, whilst the bungalows each have a rear garden area – albeit compact.

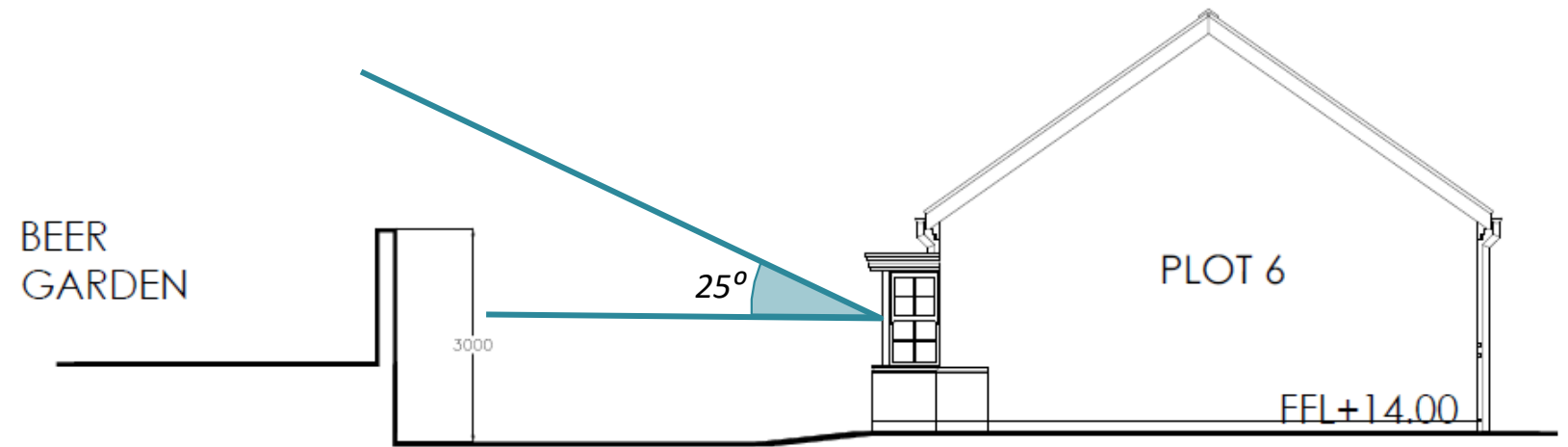
The internal layout of the apartments and bungalows offer an acceptable level of amenity, provided with varying and adequate outlooks.

Concern was raised in relation to plot 6 given its positioning with the proposed noise barrier. However, having assessed the provided section it is clear that there is sufficient set back that allows for an adequate level of daylight – as per the 25-degree angle rule. This has also been applied to the northern row of bungalow in relation to the existing brick wall boundary and is deemed acceptable.

Associated environmental impacts relating to noise and air quality are addressed in detail under ‘environmental protection’ considerations.

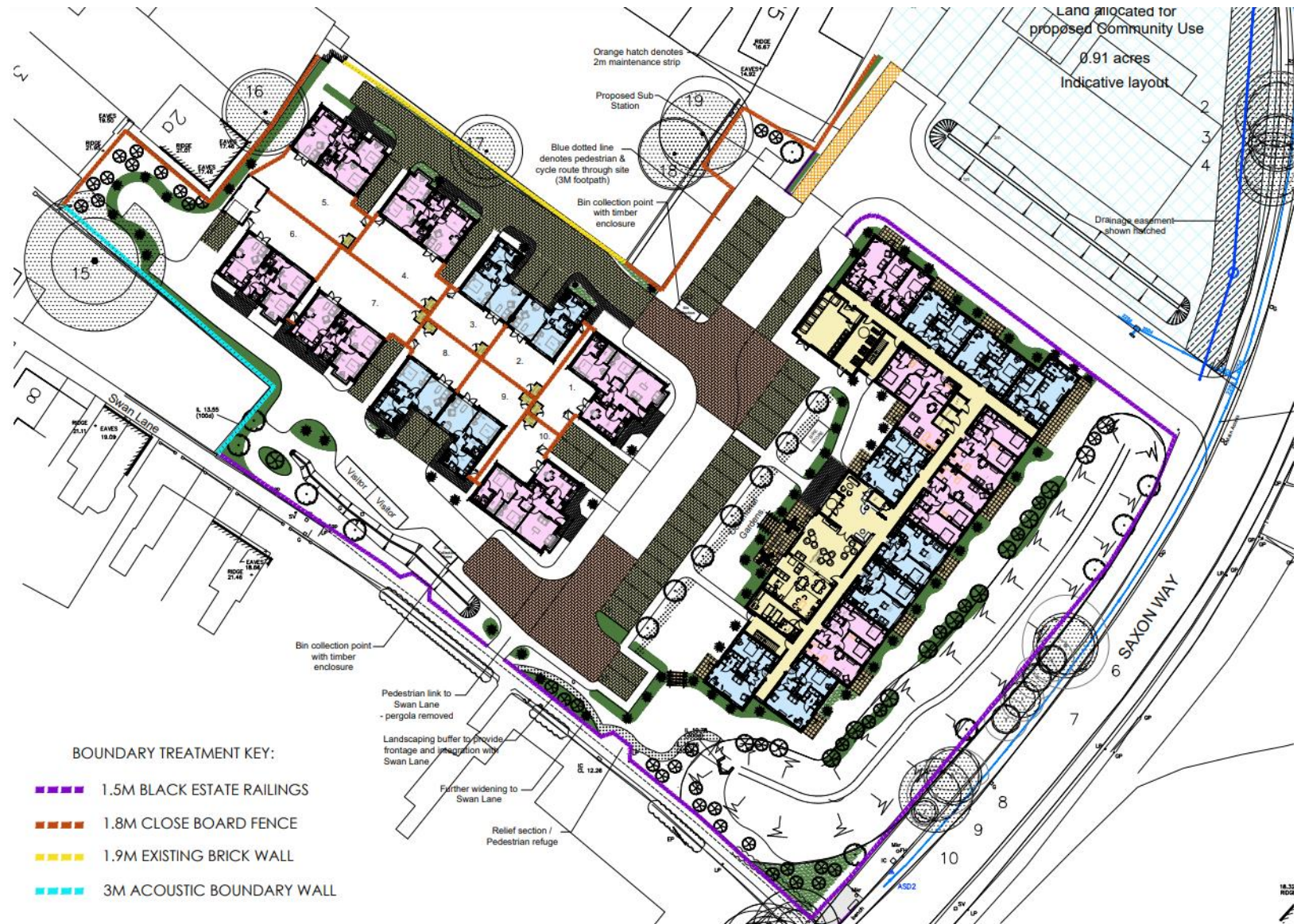
The site layout allows for the adequate provision of bin storage and collection of waste areas, with an integral area provided within the apartment block and an external store within the street layout – *dimensional and material details to secured by condition.*

# Residential amenity: Daylight and the 25-degree rule



Section 04/11/22  
1:50 @ A4

# Residential amenity: Boundary treatments





## Lifetime design

As stated by policy WLP8.31, where appropriate, proposals for development should demonstrate that the design supports the needs of older people and those with dementia through the creation of environments which are; familiar; legible; distinctive; accessible; comfortable; and safe.

Given that the applicant is a nationwide provider of retirement schemes, it is assumed that such considerations have been incorporated within their proposed design. However, there are concerns regarding accessibility particularly in regard to how residents access rear garden spaces, which is currently being addressed by the applicant.

Other aspects of accessibility and legibility that require further detail relate to the formation and use of materials associated with the shared cycle/pedestrian path and general shared access through the wider site. However, pending the formal acceptance of the overall layout by the highway authority, further hard/soft landscaping design details (e.g., kerb detailing, surface materials, signage etc.) can be secured via condition. This will assist in achieving a well-integrated layout, minimising the perception of a car dominated area.

The applicant has advised that all of the proposed dwellings meet M4(2) of Part M of the Building Regulations in terms of accessibility standards; however, there is no indication that any are M4(3) compliant. A compliance condition is therefore proposed requiring a list of which units/ plots meet the M4(2) or M4(3) standards, to ensure compliance with policy WLP8.31.

## Lifetime design: surface materials



## Design of open spaces

Whilst no site-specific need is identified, the incorporation of open space into residential developments is fundamental to the creation of an environment that will meet the expectations of residents. These spaces need to be inclusively designed for people of all ages and abilities.

**Residential open-space:** This comprises areas of amenity green space, including a landscaped area to the north-western corner and communal gardens associated with the apartment building.

The communal gardens serving the apartment block is integral to the new development, located centrally and easily accessible from the main entrance and homeowner's lounge.

The area of open amenity space to the north-western corner offers a landscaped area that is easily accessible, the potential for a circular walking route (depending on further landscaping detail and clarity on dimensions/functionality).

To ensure these spaces are designed to a high standard, further detail is required by way of condition in relation to a site-wide landscape strategy, which includes aspects relating to biodiversity, lighting, signage, seating, surface materials etc.

*Open space considerations relating to the community land will be addressed in detail at reserved matters stages, with an updated open space assessment required to inform the proposed design/layout.*



# Design of open spaces



# Environmental protection

**Land contamination:** Land contamination matters have been fully considered following receipt of the updated Phase I reporting, which includes the land allocated for community/pre-school use to the north of the site. The reporting identifies several potential sources of contamination and concludes that an intrusive investigation is required. It is expected that the previously proposed full suite of land contamination condition will remain, with site investigation requirements amended where necessary. The full suite of land contamination conditions are therefore proposed, including further site investigation, remediation and validation. Land contamination requirements will need to be carried out in full prior to development and the transfer of community land to Halesworth Town Council.

**Noise:** The noise assessment relies on, in addition to the proposed barrier, mechanical ventilation and enhanced glazing sound insulation to ensure that any noise from the adjacent White Swan Public house does not cause disturbance to the occupiers of the nearest proposed dwellings. It is considered that the mitigation measures set out in the noise assessment, provide the appropriate level of protection to the proposed dwellings. For clarity, these measures include:

- An acoustic barrier around the perimeter of the pub garden.
- Mechanical ventilation and heat recovery to all properties, which will provide satisfactory ventilation.
- Provision of enhanced glazing sound insulation performance to habitable rooms facing the pub garden.
- Provision in the nearest bungalows for the principal bedroom and living rooms to face away from the pub garden.

**Air Quality:** Following receipt of the AADT figures it was confirmed that there would be no need for an air quality assessment.



## Sustainable transport and connectivity

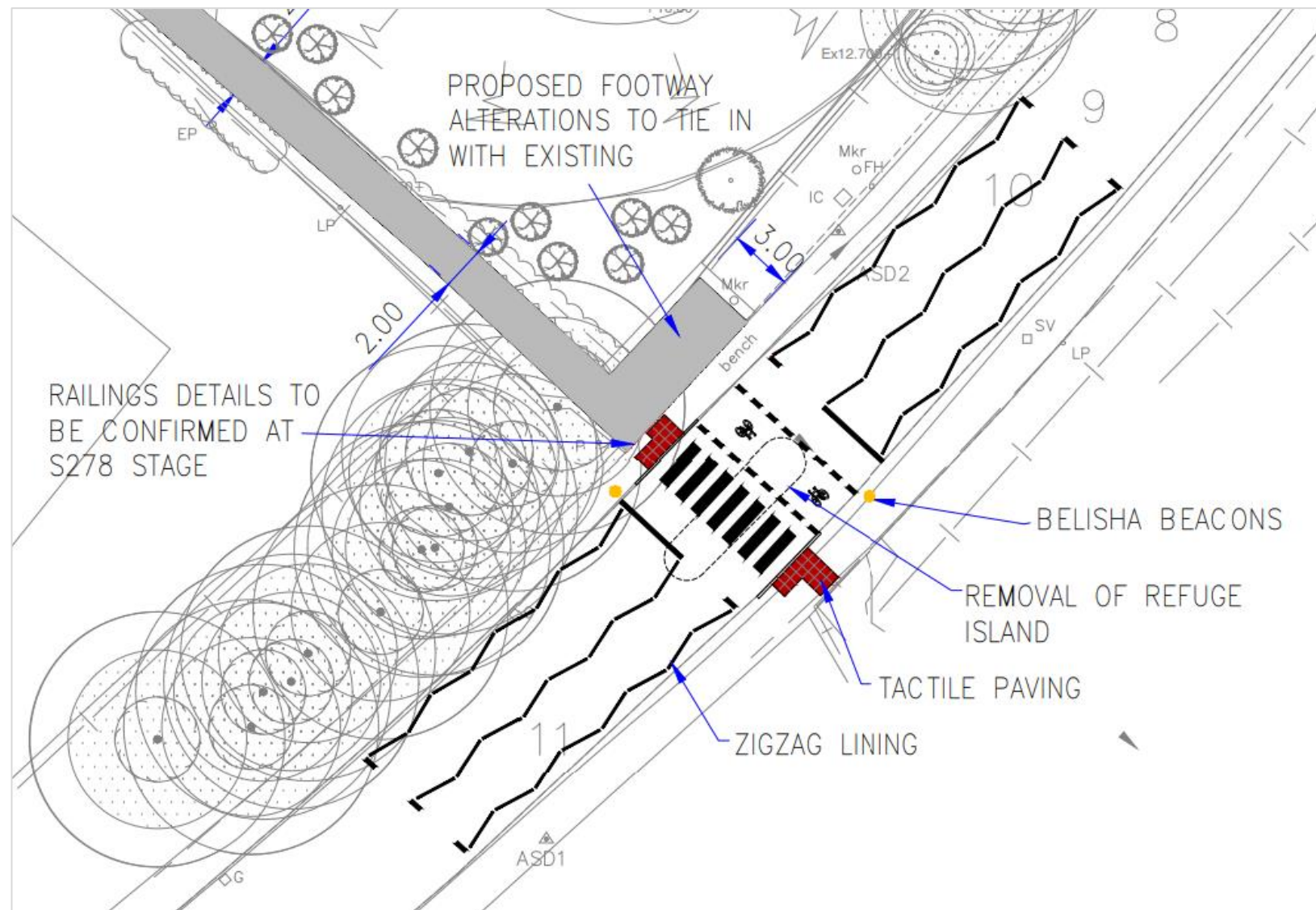
The proposed site layout has been re-design since submission to include the provision of three-metre-wide shared cycle/footpath that enables connectivity through the site, linking Swan Lane towards the proposed community/pre-school use towards Angel Link. Whilst the technical aspects are subject to review by the highway authority, the provision of a defined route together with the shared surface approach to the residential area, is considered to meet to the requirements set out within the allocation policy.

Connectivity with the town centre, residential areas and wider rights of way network is further advanced via the widening and improvements of Swan Lane and proposed pedestrian crossing upgrade at the junction with Saxons Way, the latter of which is to be secured via a Grampian condition.

Details of the infrastructure to be provided for electric vehicle charging points is to be submitted via a pre-commencement condition and shall accord with the minimum requirements set out in the technical parking guidance.

Cycle parking provision is indicated on the site layout plan, with external storage areas noted outside the entrance of the apartment block and within rear gardens. Queries relating to access widths to the rear garden space are being addressed but is considered to be a resolvable design arrangement. Further details in terms of dimensional, lighting and material requirements are to be submitted via condition to ensure the provision if safe a functional storage.

# Indicative crossing upgrade – Swan Lane/Saxons Way





# Highways

A holding objection from the highway authority is maintained at the time of writing this report. The applicant continues to address matters raised, which relate to:

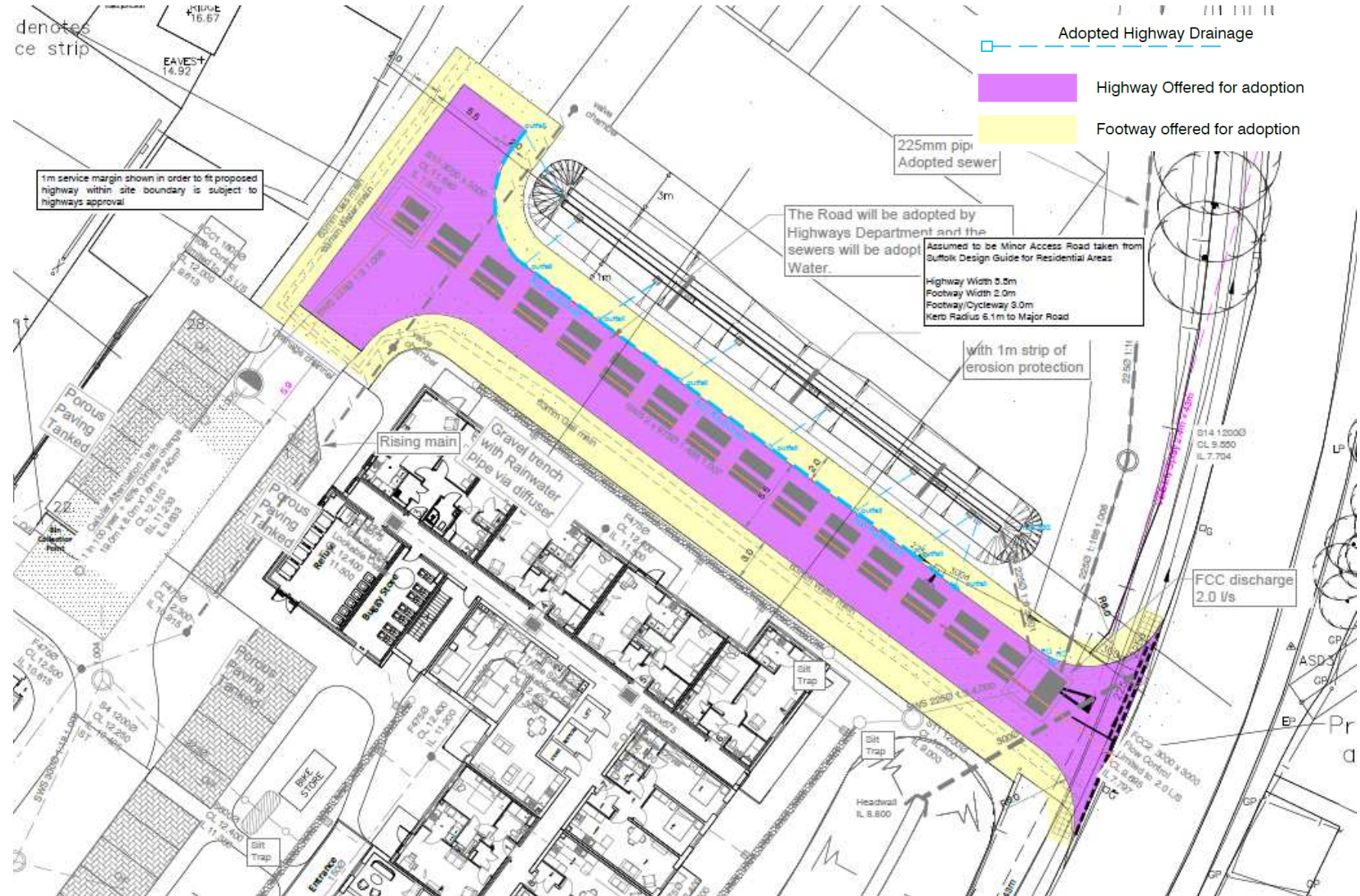
- Proximity/design of proposed swales (and associated easement(s)) in relation to highway features.
- Encroachment of footway along the back of the turning head limiting the cycle/pedestrian provision.
- Misalignment of highway and drainage plans.
- Further information required regarding measures to prevent private surface water from entering the highway.
- Provision of off-site crossing upgrades across Saxons Way.

It is considered that the aforementioned concerns and information requests can be suitably addressed by the applicant to ensure the proposal provides an adoptable highway layout, along with parking and connectivity provisions that meet technical guidance.

The highway authority's full assessment of the submitted Transport Statement and associated plans will ensure that there is the provision of safe access routes, suitably design connectivity route, sufficient car parking spaces, and provision of all other associated infrastructure.

*The applicant continues to address matters raised – with updated plans received on Friday 4 November and the LLFA have been re-consulted accordingly.*

# Latest Section 38 arrangement plan





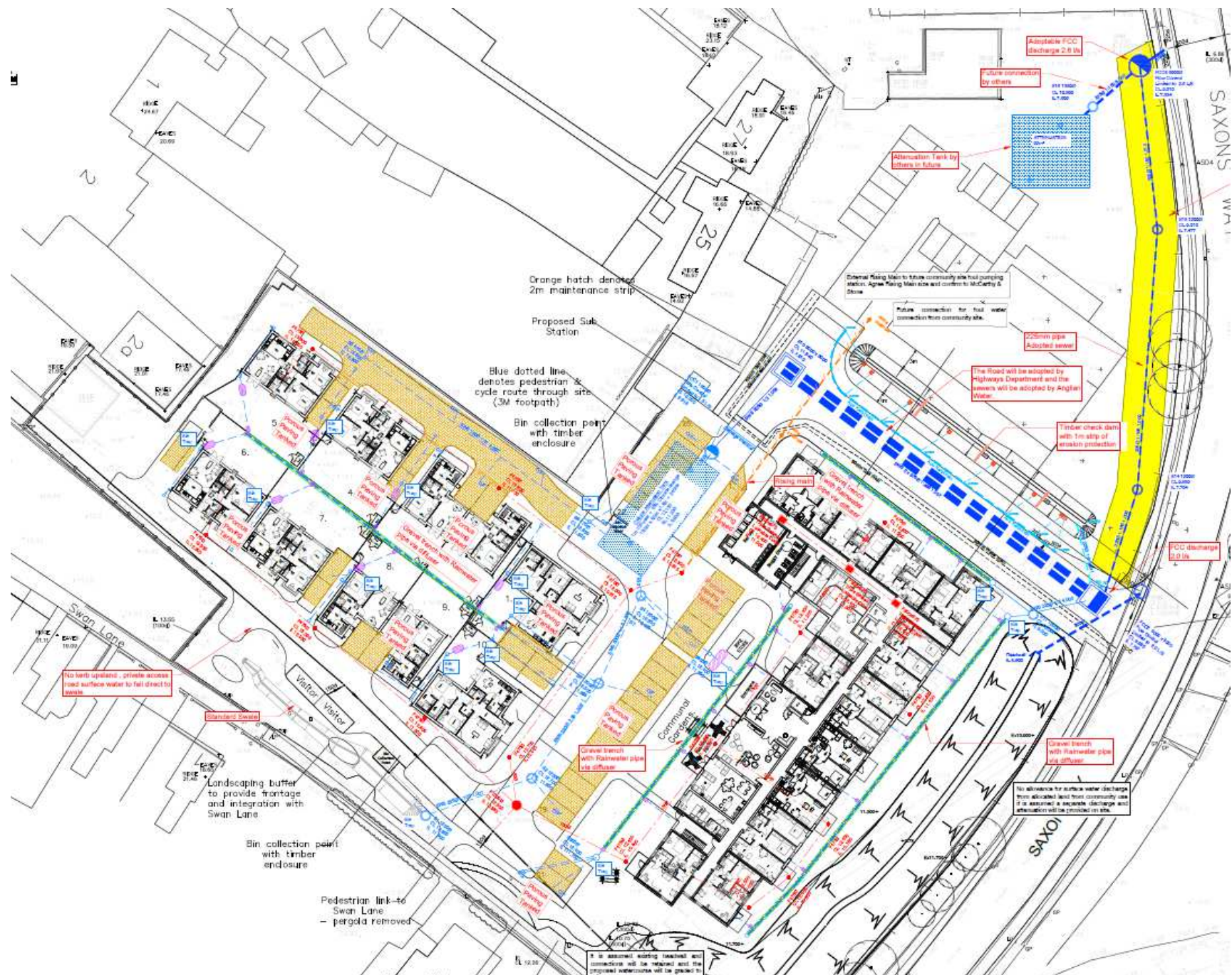
## Flood risk drainage

Although there has been considerable correspondence between the LLFA and the applicant's drainage engineer, the proposal still has information deficiencies and a holding objection from the LLFA is maintained at the time of writing this report.

It is considered that the listed concerns and information requests can be suitably addressed by the applicant to ensure the proposal provides adequate sustainable drainage that effectively mitigates any associated flood risk. However, any consequential layout changes will need to ensure that further limitations are not posed on the community land.

*The applicant continues to address matters raised – with updated plans received on Friday 4 November and the LLFA have been re-consulted accordingly.*

# Latest drainage constraints plan





# Infrastructure

**Infrastructure requirements associated with the site/proposal are addressed below.**

**Healthcare provision:** In this instance, due to the C3 (Dwellinghouse) nature of the proposed residential development, funding for the expansion of local healthcare facilities can be secured via CIL.

**Wastewater:** Anglian Water are yet to provide a response in relation to the proposed drainage strategy in respect of whether there is sufficient capacity in the water recycling centre and the wastewater network. Once received, their formal response will be considered alongside the wider drainage strategy. Where there is no capacity in the water recycling centre, development may need to be phased in order to allow improvement works to take place, with conditions and informatives applied where necessary.

**Broadband:** All new developments must provide the most viable high-speed broadband connection. If a fibre connection cannot currently be provided, infrastructure within the site should be designed to allow for fibre provision in the future. *This requirement will be suitably secured via condition.*

**Fire safety:** Suffolk Fire and Rescue Service recommends that fire hydrants are installed within the development on a suitable route for laying hose (i.e., avoiding obstructions). This requirement will be determined at the water planning stage when site plans have been submitted by the water companies, as secured by a pre-commencement planning condition. Water sprinklers are also advised and the relevant informatives shall be included for the developer's attention.

## Sustainable construction

Policy WLP8.28 requires proposals for major residential development of 10 or more houses and commercial development schemes of 1,000sqm or more of floorspace to demonstrate through the submission of a sustainability statement.

The submitted **Energy Statement** seeks to address the requirements outlined above.

Measures contained within the reporting are to be secured via condition(s) to ensure compliance with the prescribed methods of construction.

*Further considerations in relation to waste management and construction processes will be addressed by standard pre-commencement/occupation conditions to ensure environmental impacts are minimised.*



## Outline application: community/pre- school use

- The outline element of the site enables a well serviced, accessed and deliverable opportunity for community development.
- The layout and design remains in the hands of the community, and Halesworth Town Council are currently considering opportunities.
- An opportunity also remains for land for a pre-school facility which may be delivered by the county council and/or community led.
- It may be that it is some time before a community development comes forward but the opportunity is enabled by this development and that is a benefit which should be given substantial weight.
- Whilst the illustrative layout attempts to confirm that sufficient space remains to deliver the community/pre-school development opportunities, details are yet to be finalised to ensure that the community use land is not overly constrained by the proposed drainage layout.

## Concluding points

- The principle for the type of development proposed is established by policy WLP4.5: Land at Dairy Farm, Saxons Way, Halesworth, which allocates the site for residential development, along with a community centre and pre-school setting.
- In respect of the full application, the retirement living proposal for 43 apartments and 10 bungalows, all either one or two-bedrooms, meets the identified need for sheltered housing within the district.
- Although the proposed density exceeds policy expectations, the retirement community nature enables a more efficient use of the site that benefits from accessible links to the town centre and nearby facilities. The efficient use of the site for this form of housing is not therefore considered a policy conflict and it better ensures that the site can deliver on its full community benefit expectations.
- Whilst the revised design detail relating to highways and flooding/drainage matters is yet to be fully reported on, all other matters are suitably addressed, with conditions proposed to mitigate any adverse impacts.
- The design of the proposal and subsequent heritage impacts have been substantially reviewed by the Council's Principal Design & Conservation Officer despite maintained concerns from Historic England. The general principle, along with the scale and appearance of the built form is considered acceptable, with the aim of providing a well-integrated and sensitively designed scheme.



## Concluding points

- The unmitigated harm resulting from this development is limited to that on the setting of Gothic House, as low level less-than-substantial harm, for which an NPPF para. 202 balance has been performed.
- There is some harm in the loss of the habitat which has established on the site, but this is capable of some mitigation and all protected reptile species can be translocated under condition. All other identified biodiversity/geodiversity effects are mitigated or capable of mitigation.
- It is unfortunate that the site cannot achieve on-site affordable housing provision. However, it is not unexpected that the site presents viability issues given its constraints and abnormalities. The third party review agrees with the applicant in respect of viability issues. The commuted sum for affordable housing of £230,000 is welcomed and will go some way to supporting affordable housing delivery in the area, alongside the significant provision of affordable housing on other sites in the town.
- Whilst there are still outstanding matters to address, the fundamental principle of the submitted scheme is considered acceptable and it represents another positive delivery of plan-led growth for the town alongside the enabling of community infrastructure opportunities.

# Planning considerations

The following considerations have been addressed within the reporting:

- Principle of development
- Highways: accessibility and technical standards
- Housing density
- Housing mix
- Affordable housing/ viability
- Landscaping and arboriculture
- Design and heritage
- Residential amenity
- Lifetime design
- Environmental protection: noise, air quality, and land contamination
- Flood risk and sustainable urban drainage
- Infrastructure requirements
- Connectivity: cycling and walking
- Open space provision
- Ecology
- Archaeology
- Sustainable construction



# Conditions

## Proposed conditions relate to the following:

- Time limit – three years
- Reserved matters requirements and time limit for submission- two years
- Phasing plan
- List of approved drawings
- Age limit for residential use (60+ years)
- Details of materials and finishes
- Compliance with ecological mitigation measures
- Restriction on vegetation clearance
- Method statement for translocation of reptiles
- Lighting design strategy
- Ecological enhancement strategy
- Review of ecological receptors on site if development does not commence within three years (or suspended for more than 12 months)
- Archaeology – written scheme of investigation
- Archaeology – post investigation assessment
- Land contamination – full suite of standard conditions
- Cycle storage details and provision
- Bin storage details and provision
- Fire hydrants provision
- Details noise barrier and timing of instalment
- Landscaping scheme (inc. implementation and boundary treatments)
- Landscape management plan
- Detailed planting plans
- Arboricultural method statement
- Sustainable construction/energy saving measures
- M4(2) compliance
- Construction management plan (inc. restriction on hours)
- Electric vehicle charging points
- Highway conditions (tbc) – in relation to access, improvements to Swan Lane, provision of off-site pedestrian crossing upgrades at Swan Lane/Saxons Way, and all other technical requirements
- Drainage conditions (tbc) – drainage strategy and all other technical requirements

## Section 106 agreement

The draft s106 heads of terms includes:

- Provision for transfer of community use land as identified on drawing number MI-2758-03-AC-003 (02) at nil value to Halesworth Town Council for community uses to be agreed
- A financial contribution of £230,000 towards affordable housing
- A financial contribution of £17,024.66 towards Suffolk Coast RAMS
- Suffolk County Council obligations – *to be confirmed*

# Recommendation

***Authority to approve*** subject to the following:

*Key considerations*

- *removal of holding objection from the lead local flood authority*
- *removal of holding objection from the highway authority*

*And subject to*

- *agreement of all required planning conditions*
- *the completion of a s106 legal agreement (inc. the transfer of land for community use, details of a commuted sum calculation in lieu of affordable housing, and a mitigation contribution to the Suffolk Coast RAMS)*



End of presentation