

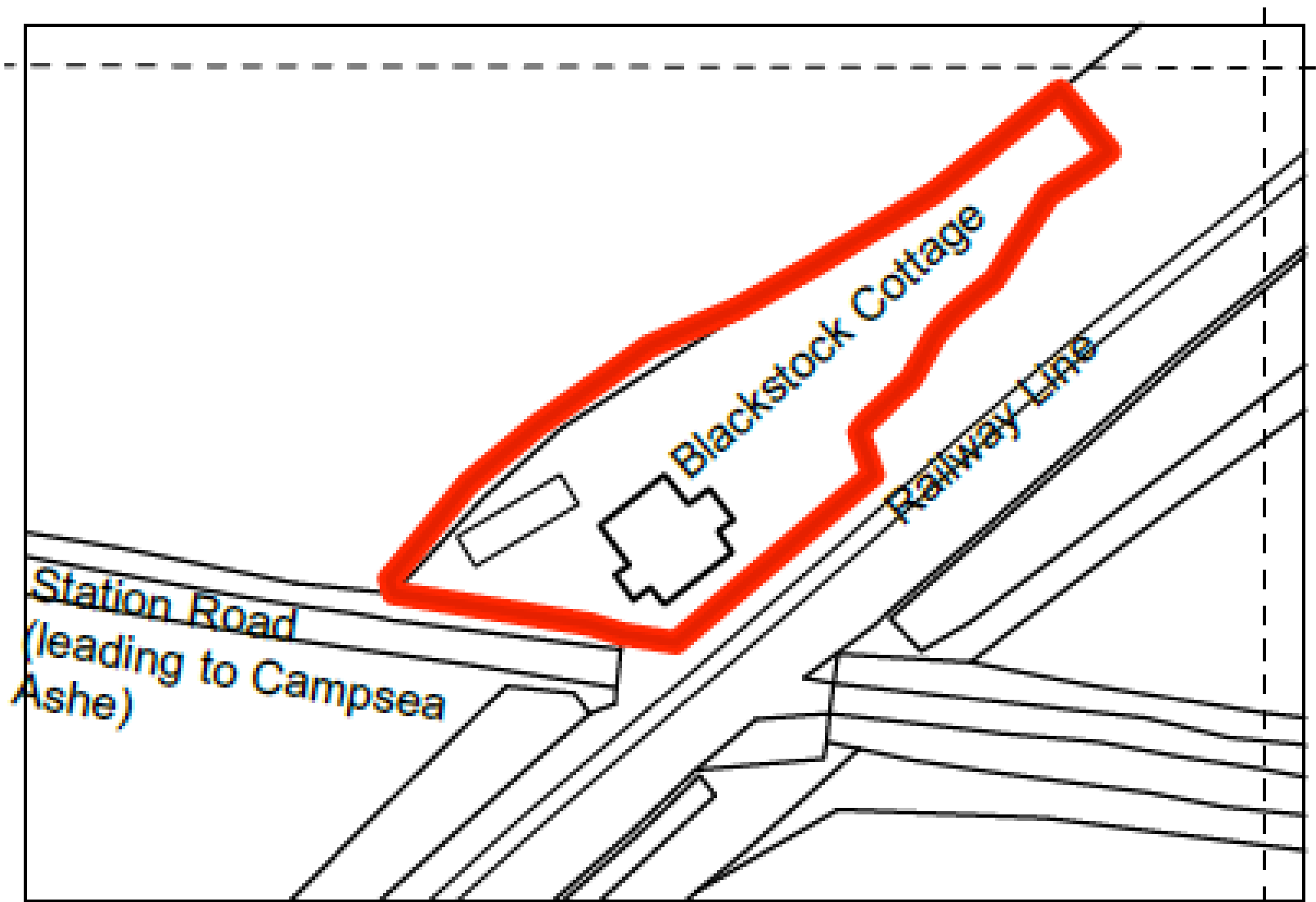
DC/20/4198/OUT

Outline Application (All Matters Reserved) - Demolition of existing dwelling and erection of replacement dwelling and additional cart lodge.

Blackstock Cottage, Blackstock Crossing Road, Campsea Ashe
Woodbridge, Suffolk, IP13 0QL



Site Location Plan



Aerial Photograph



Insert Google Streetview Link

Aerial Photograph – Wider Context



Photographs



Photographs





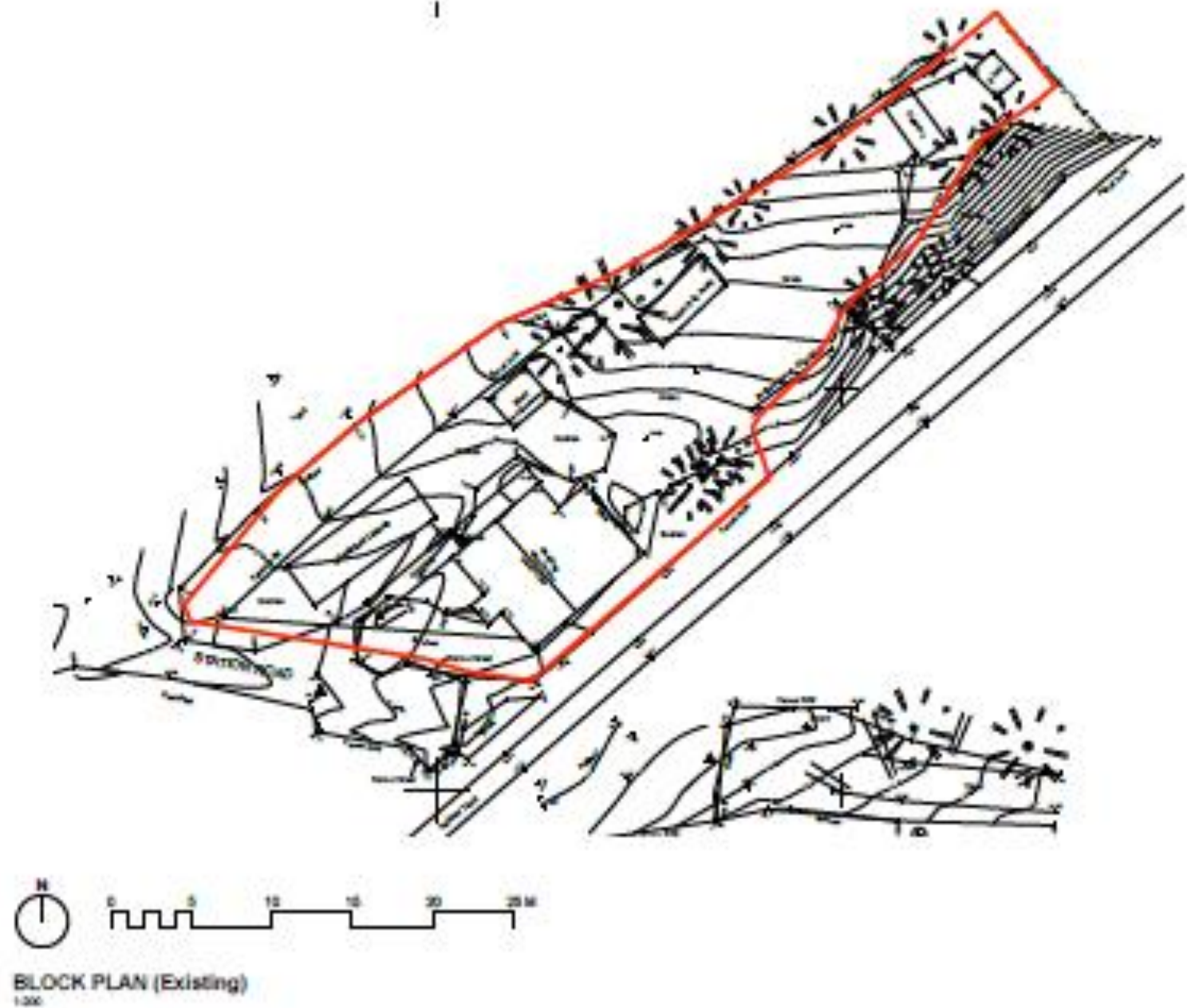
Photographs



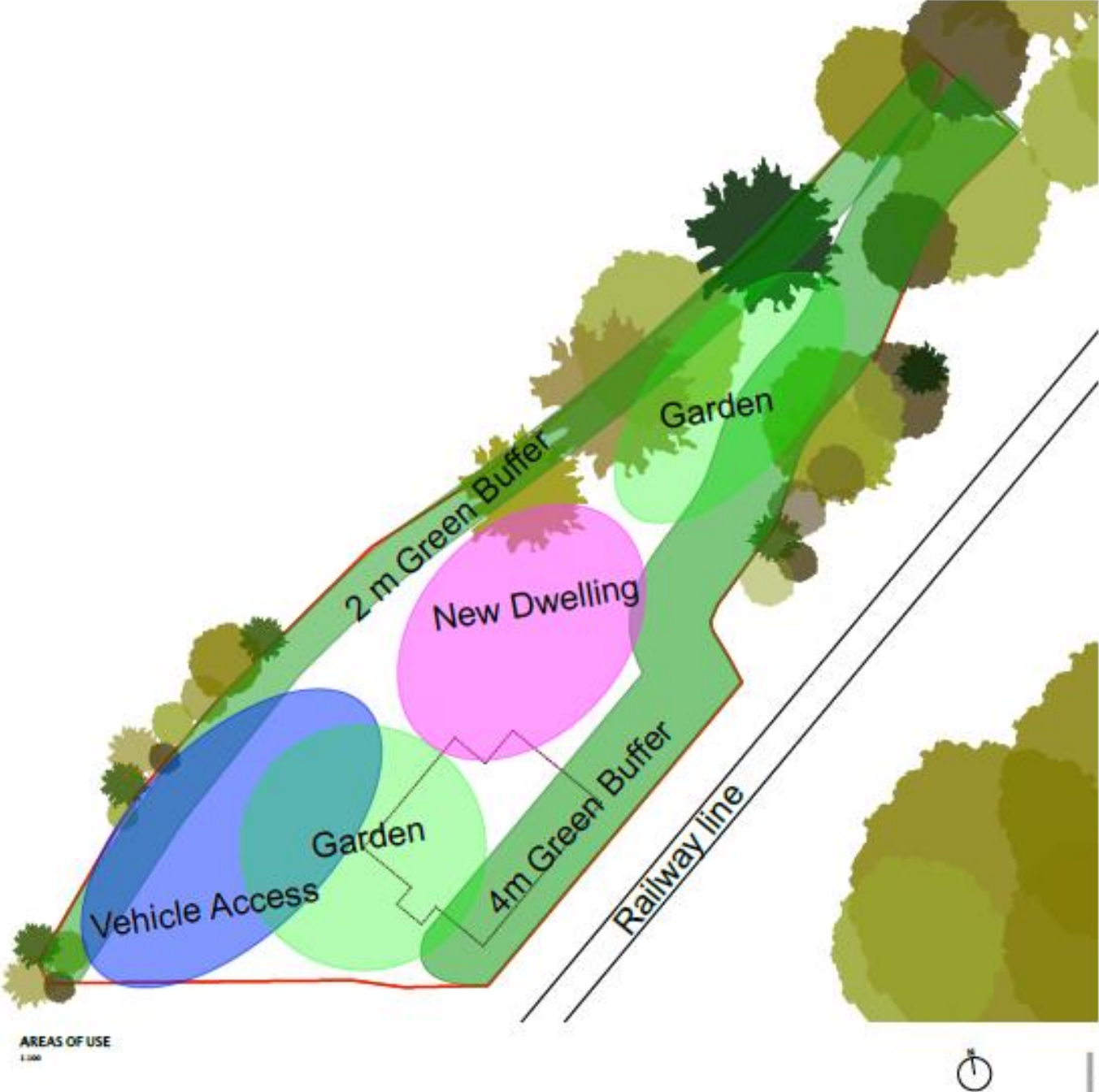
Photographs of Surrounding Area



Existing block plan



Conceptual block plan



Statement of Design Parameters

LAYOUT

Minimum set backs:

Southern boundary (road) : 10m

South-Eastern boundary (parallel to railway line): 4m

North-Western boundary (fields): 2m

AMOUNT

Maximum footprint of development: 145m²

Suggested: House footprint 100m²

Cart lodge footprint 45m²

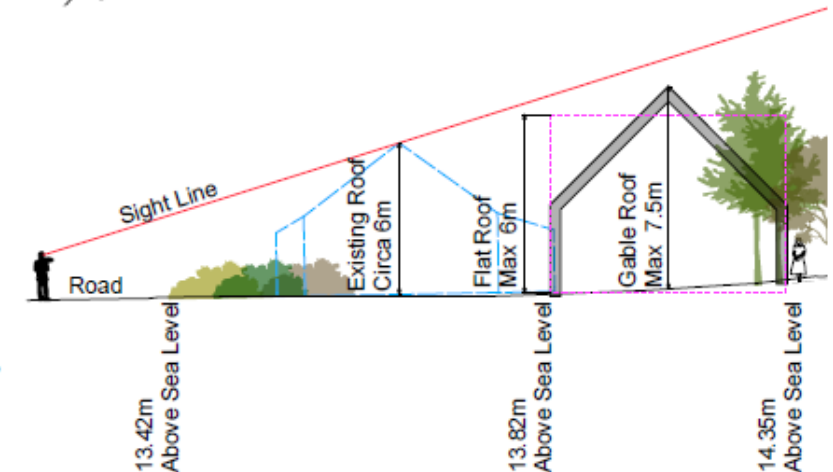
Maximum GEA of dwelling house (two floors): 150m²

SCALE

Maximum eaves height : 3.1m

Maximum ridge height (if pitched roof) : 7.5m

Maximum roof height (if flat roof) : 6m



Planning Considerations

Policy SCLP5.3: Housing Development in the Countryside

Replacement dwellings on a one to one basis where these are no more visually intrusive in the countryside than the building to be replaced

Recommendation

Officers recommends approval subject to the following conditions:

1. Reserved Matters Approval
 2. Timing of Reserved Matters
 3. Compliance condition
 4. Visibility Splays
 5. Access to be laid out to appropriate standards
 6. Unexpected Contamination
 7. Landscaping Submission
 8. Implementation of approved landscape scheme
 9. Ecological Mitigation
 10. Noise Mitigation
- 
- A large, solid teal shape that starts as a thin wedge at the bottom left and expands diagonally upwards to the right, filling the bottom right corner of the slide.