

Item: 7

DC/21/4908/VOC

Variation of Condition No. 2 of DC/19/5049/FUL which permitted the redevelopment of site to provide new clubhouse, new public facilities, parking and 5 detached dwellings.

Felixstowe Ferry Golf Club



Reason for Committee

Part of the site remains in the ownership of East Suffolk Council

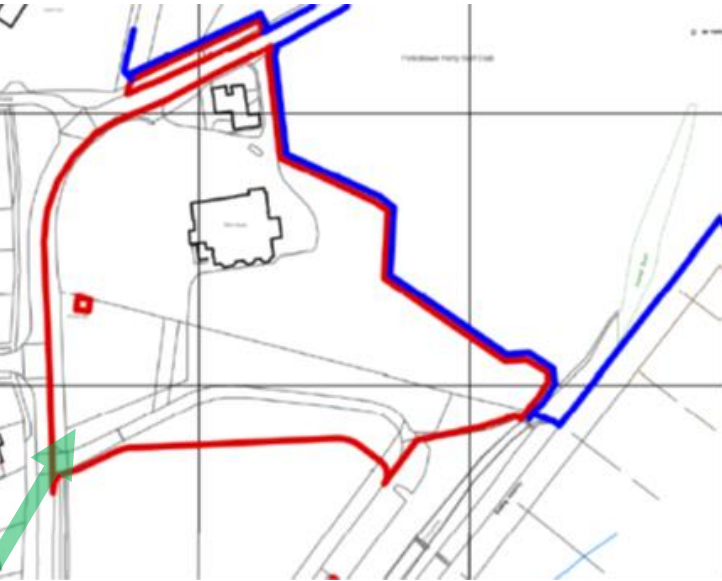
A teal-colored decorative shape, resembling a stylized hill or a wedge, is positioned in the bottom right corner of the slide.

Site Location Plan



[125 Cliff Rd, Felixstowe, England | Instant Street View](#)

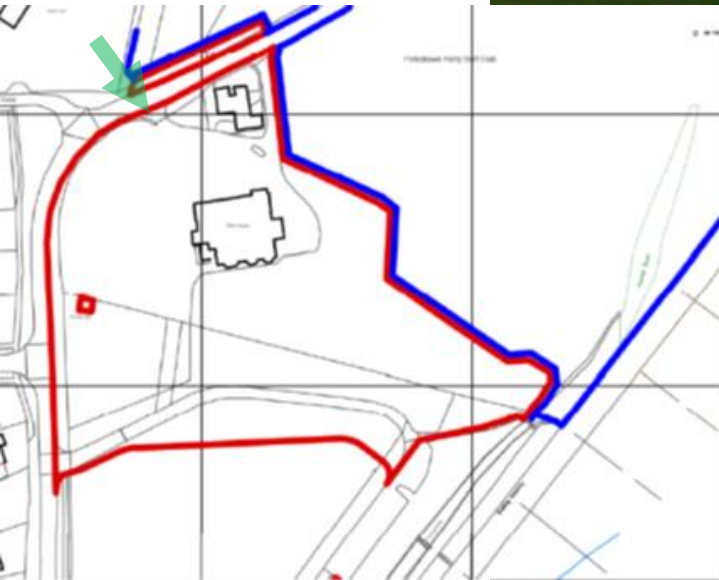
Photographs



Photographs



Photographs



Existing Site layout



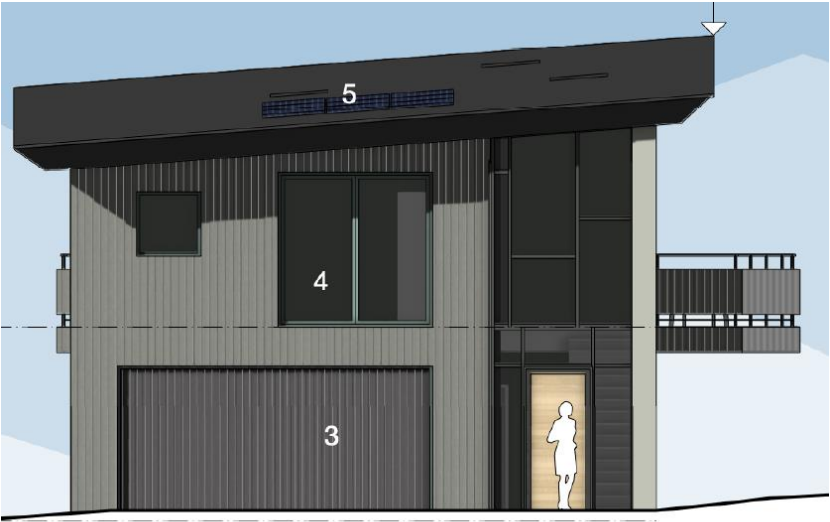
Previously approved Site layout



Proposed Block Plan –
residential dwellings



Approved and Proposed Front Elevations



Plot 1



Plot 2

Approved and Proposed Front Elevations



Plot 3

Plot 4

Approved and Proposed Front Elevations



Plot 5



Summary of Changes

Plots 1 and 2 - minor variation in the roof form, the pattern of fenestration and a revised balcony and balustrade design.

Plot 3 - Some alterations to the size and location of openings, a different design and form of the balcony. The second floor accommodation would move to the north western corner of the property (when previously it was located centrally) creating a larger balcony area to the east.

Plot 4 - minor changes to the openings and balcony design. The second floor accommodation would also be reduced slightly and positioned in the north western corner creating a larger balcony area to the east. Loss of a small balcony off the first floor dining room. The highest part of the dwelling would be 0.5 metres lower.

Plot 5 - changes to the fenestration pattern and balcony balustrade design. Second floor accommodation slightly reduced and situated in the south western corner of the dwelling with the wrap-around balcony replaced with larger spaces to the north and east elevations only.

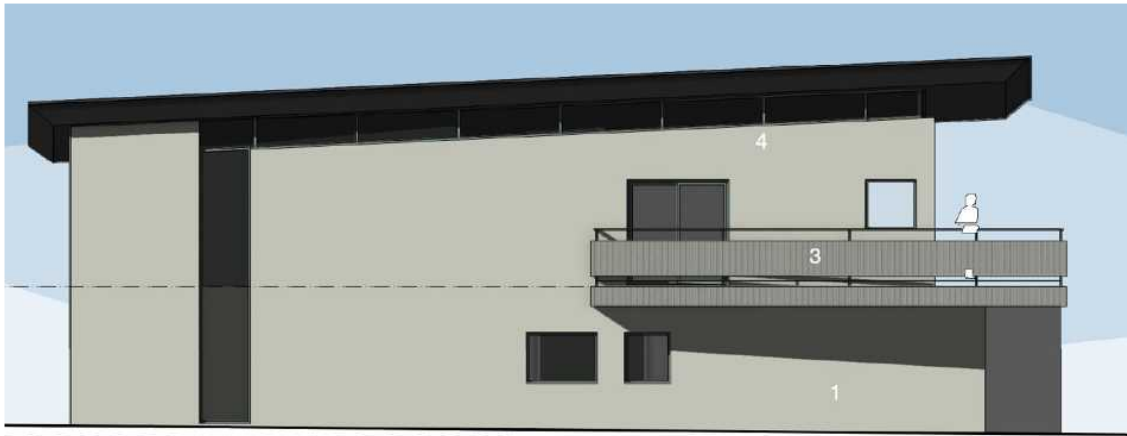
Recommendation

APPROVE subject to controlling conditions as set out in the report and summarised below:

- Standard Time limit
- Approved Plans
- Materials as submitted
- Eaves and verge details
- Completion of public facilities
- Operating scheme
- Historic Building Record
- Landscaping scheme
- Lighting Strategy
- Ecological Appraisal Compliance
- No demolition or removal of trees that may be used by breeding birds 1st March-31st August
- Protection of Ecological receptions
- Ecological Enhancement Strategy
- Noise levels
- Details of fixed plant
- Extract ventilation details
- Opening hours
- Construction Management Plan
- Surface water disposal
- Land contamination
- Construction Environmental Management Plan
- Demolish existing buildings
- Drainage
- Visitor signage
- Gateway entrance
- Provision of footway
- Bin storage
- Discharge of Surface Water
- Visibility Splays
- Pedestrian crossing
- Access
- Visitor signage
- Drainage
- Demolish Existing
- Construction Environmental Management Plan
- Land contamination

(As per Pages 164 - 172 of the report)

Approved elevations – Plot 1



South



North

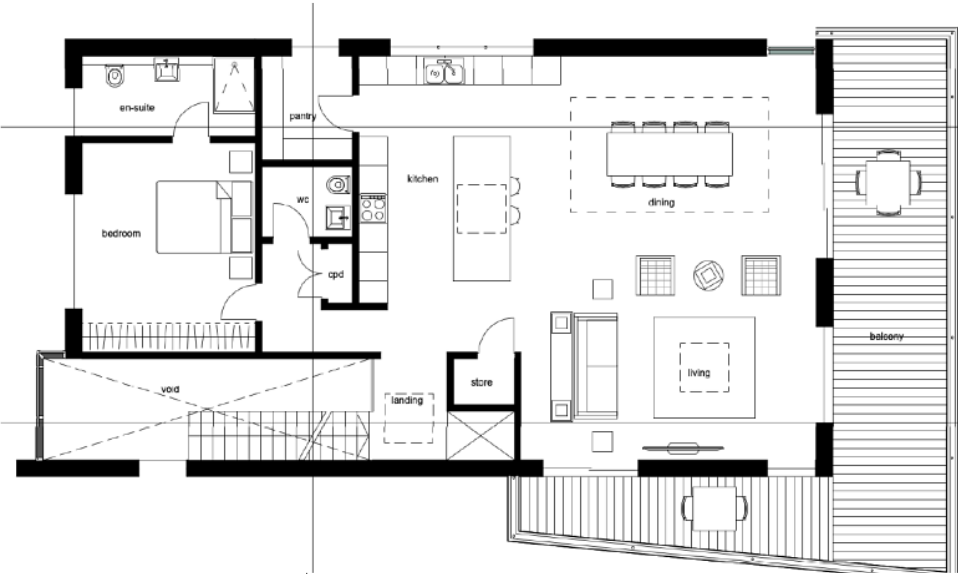


West

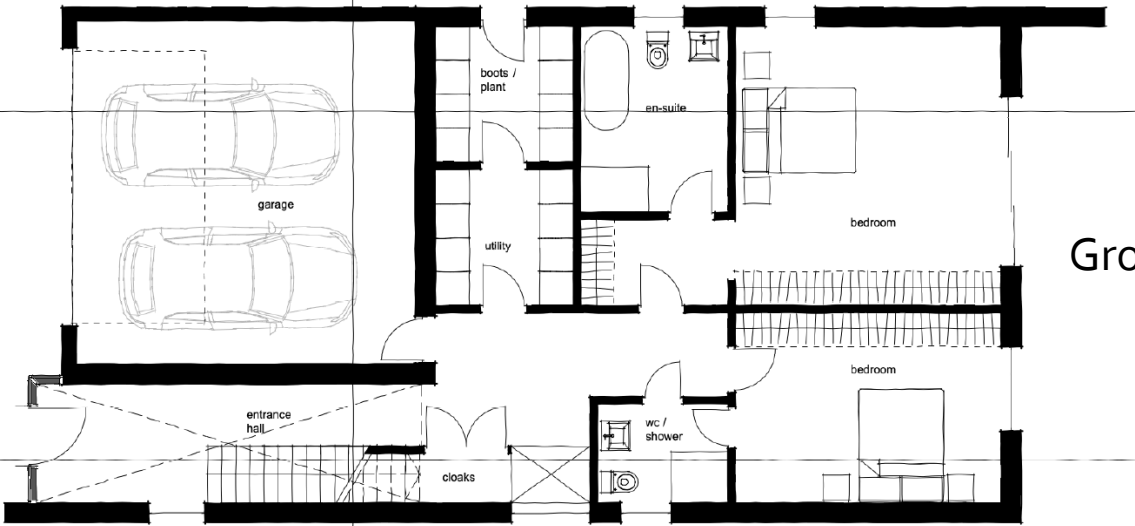


East

Plot 1



First



Ground

Previously Plot 2



South Elevation



North elevation

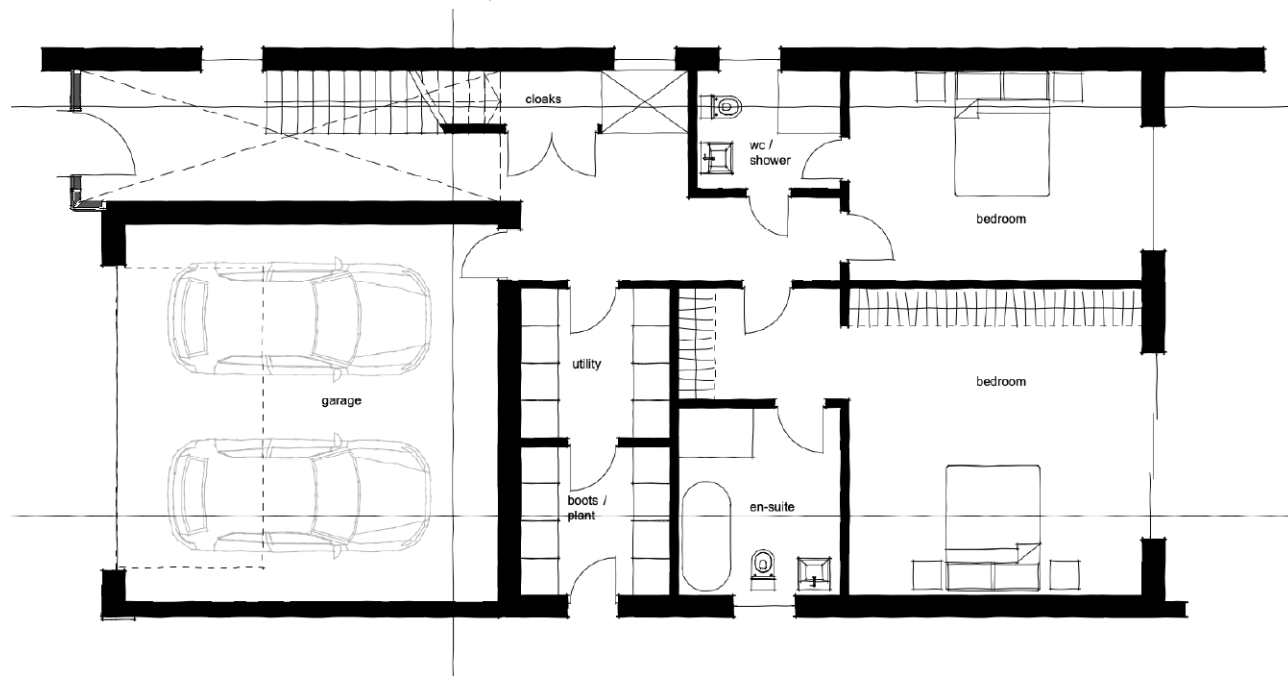
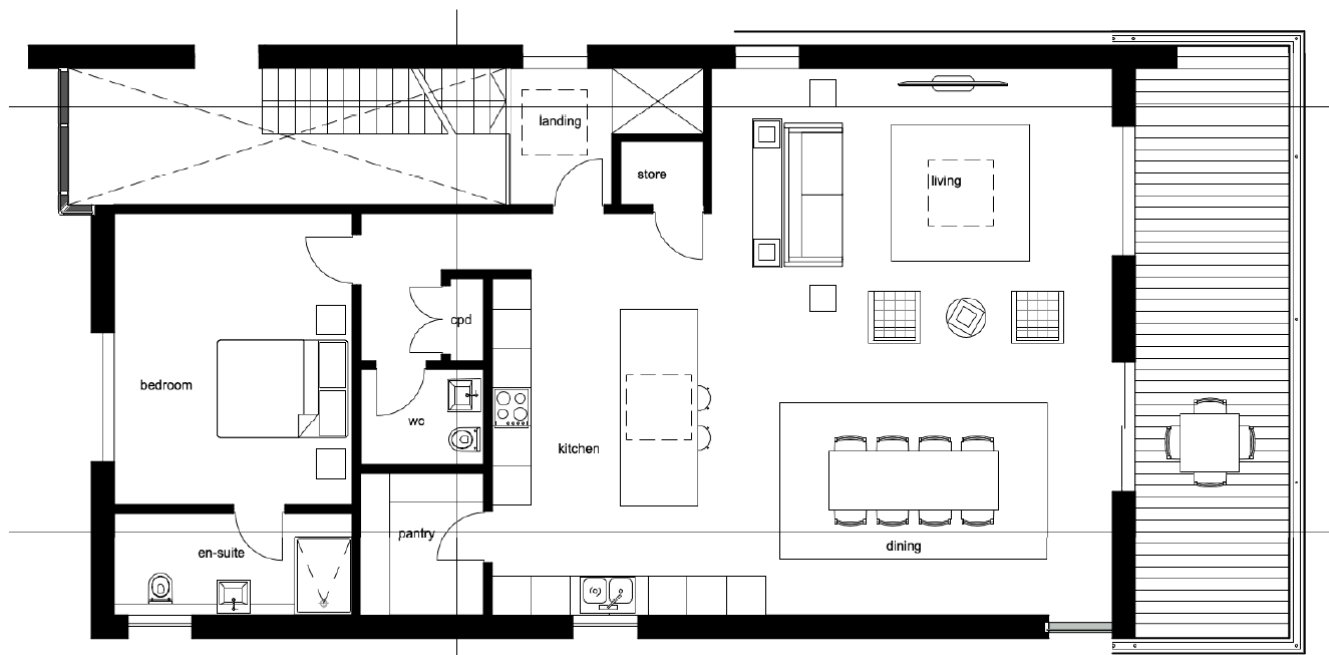


East elevation



West elevation

Plot 2



Approved
Plot 3



South elevation



West elevation

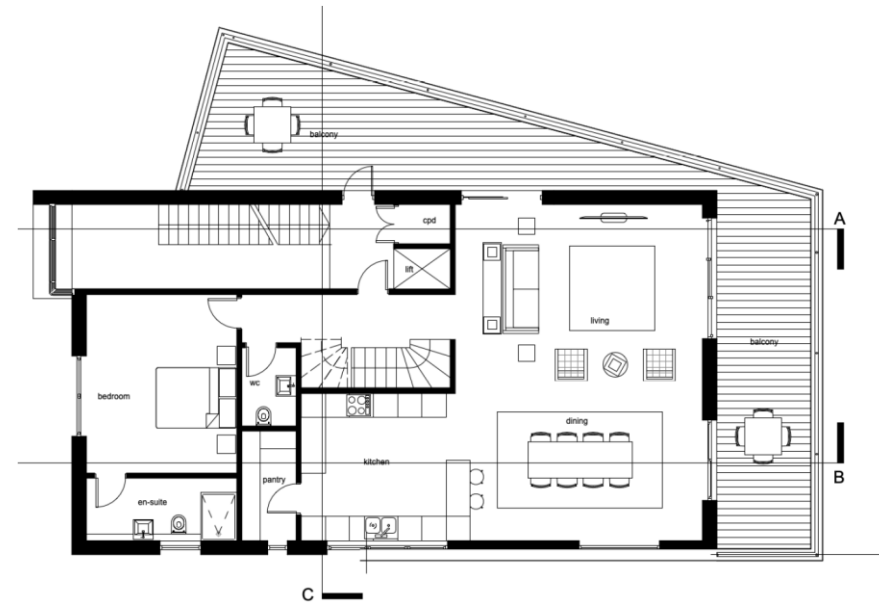
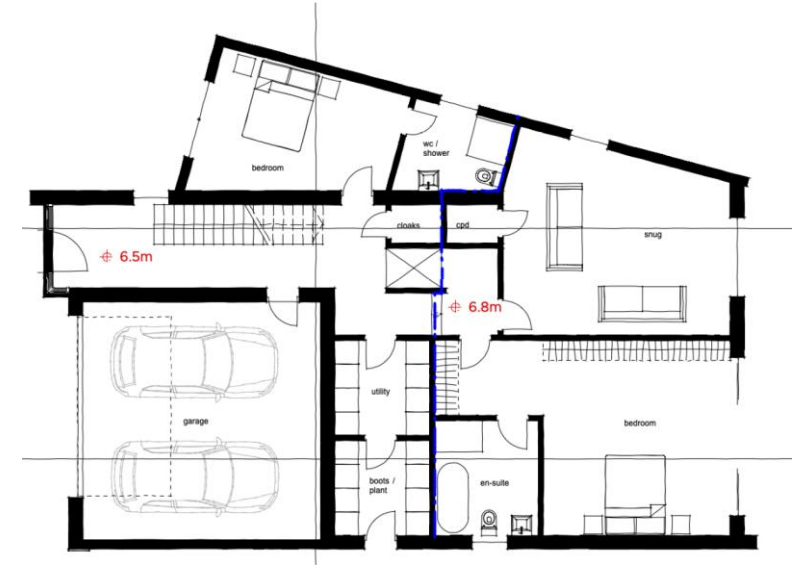
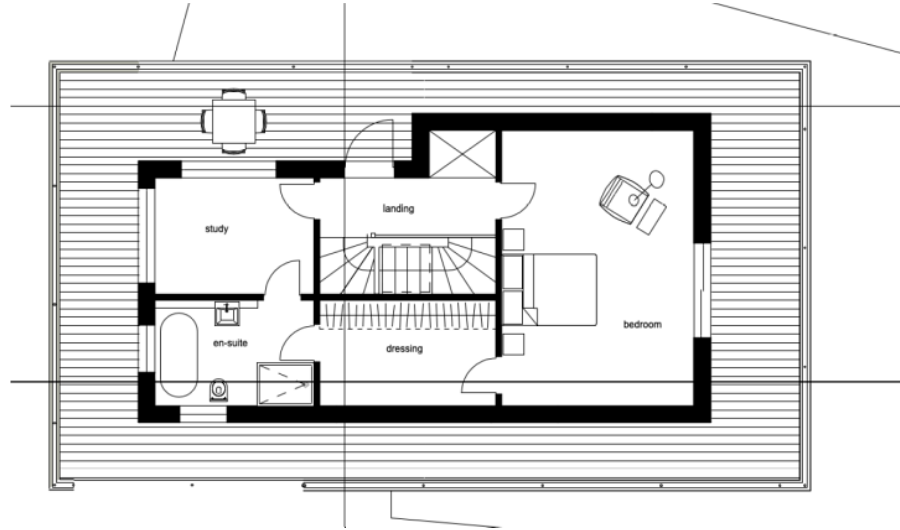


North elevation



East elevation

Plot 3



Approved Plot 4



South elevation



East elevation

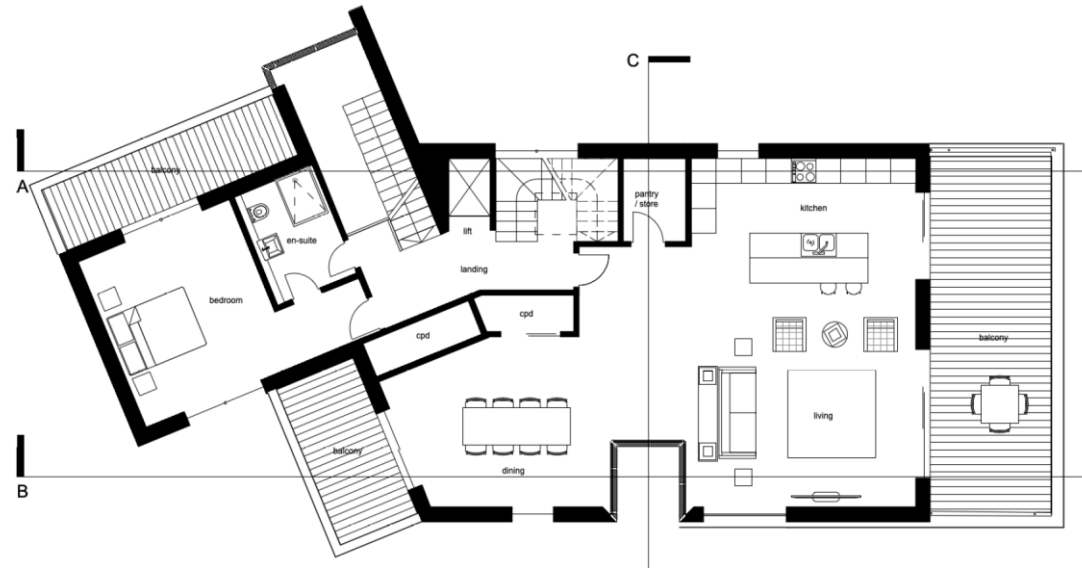
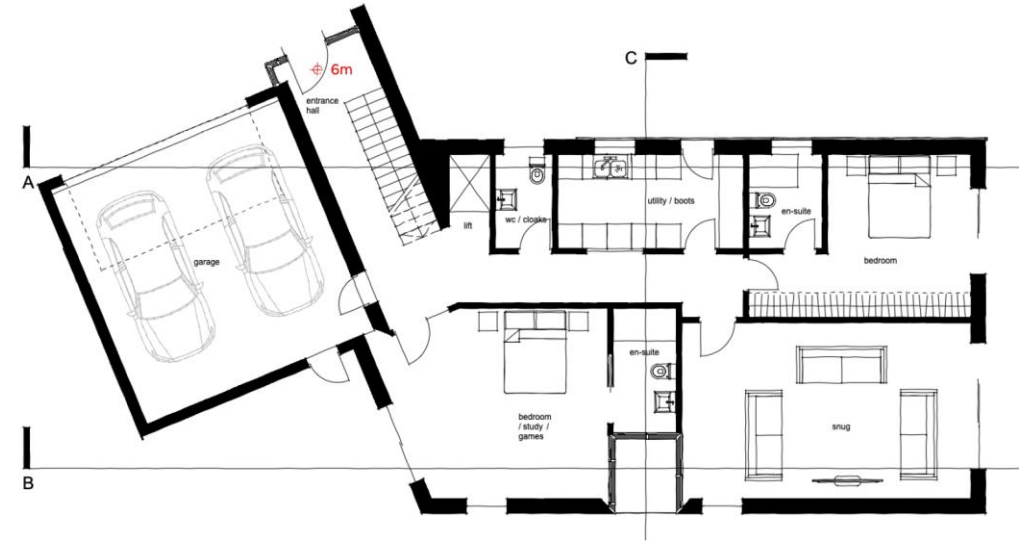
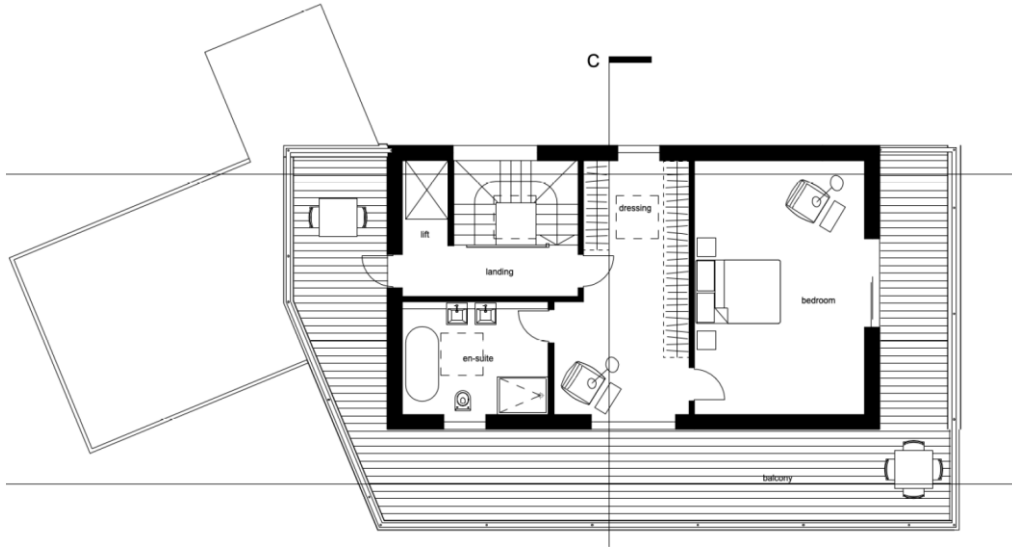


North elevation



West elevation

Plot 4



Approved Elevations – Plot 5



South



East

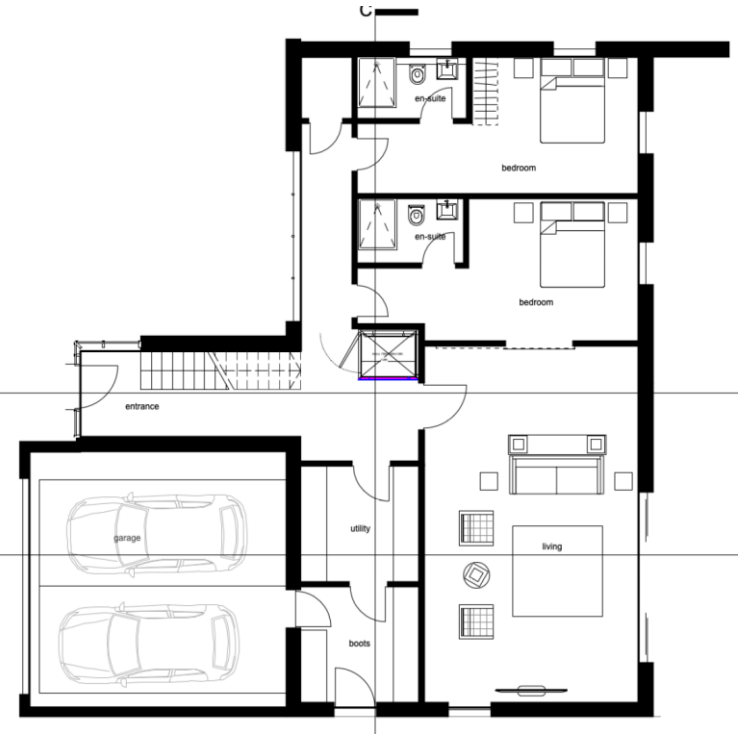


North

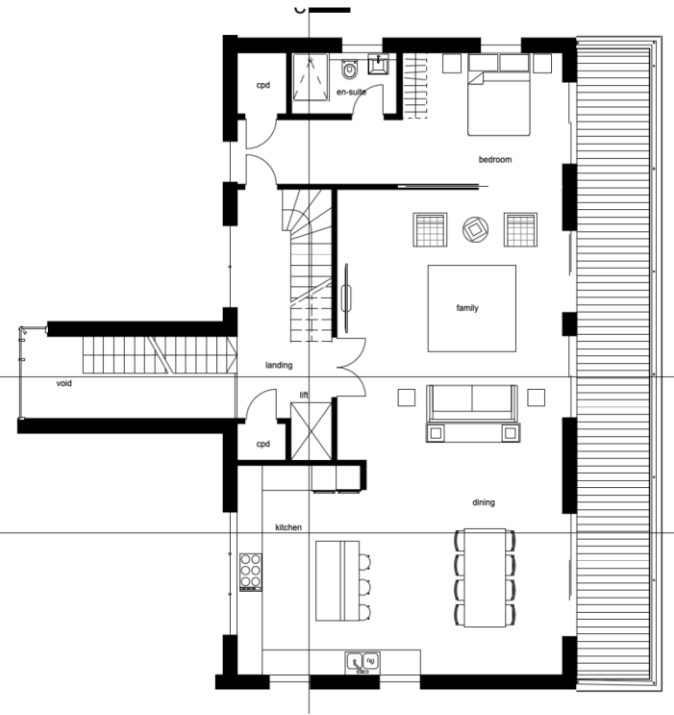


West

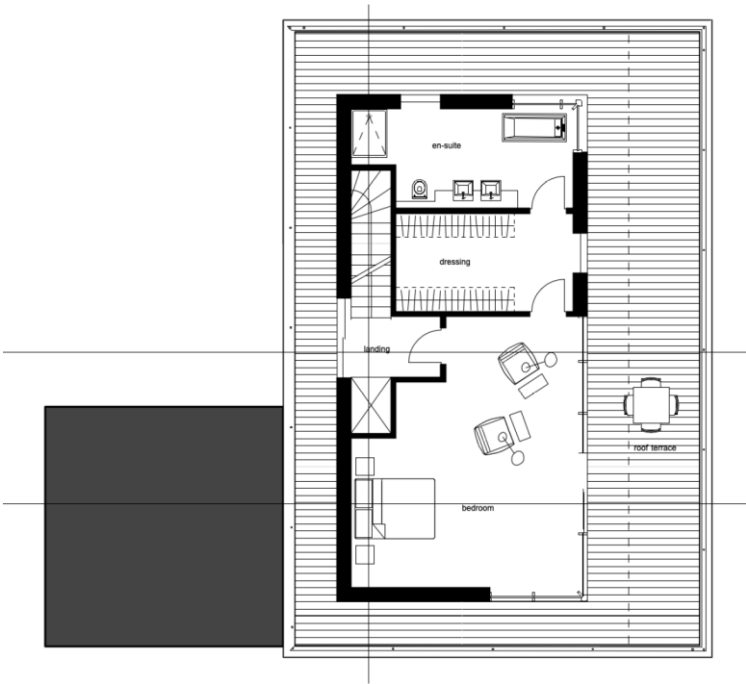
Plot 5



Ground



First

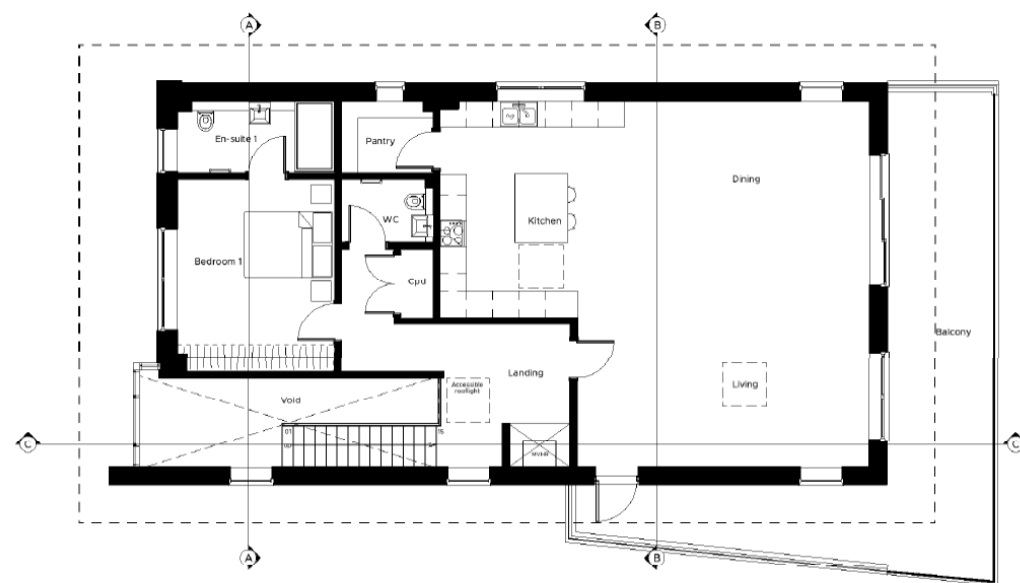


Second

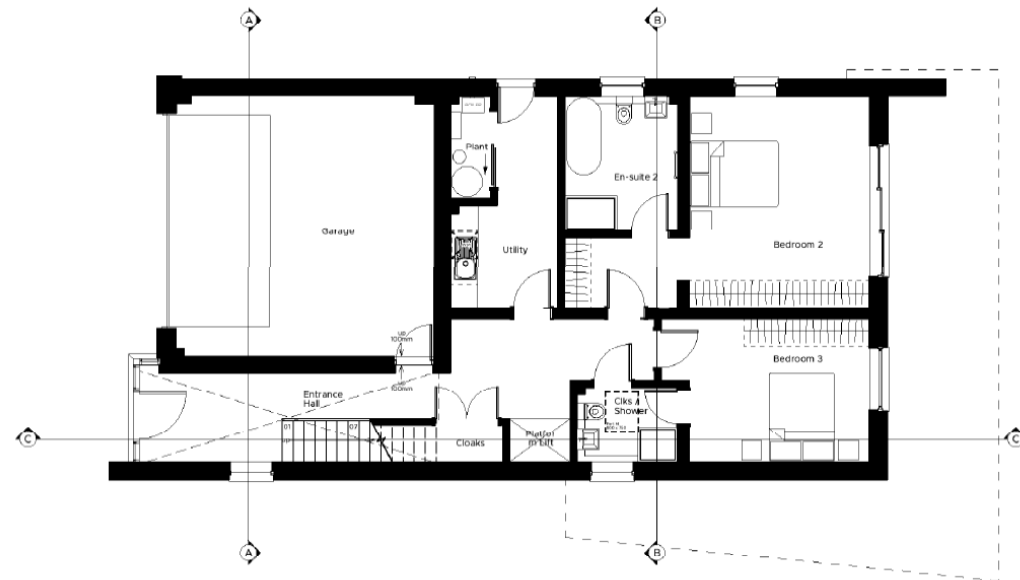
Plot 1 proposed



Proposed Plot 1



2 First Floor Plan
Scale: 1:100



1 Ground Floor Plan
Scale: 1:100

Proposed Plot 2



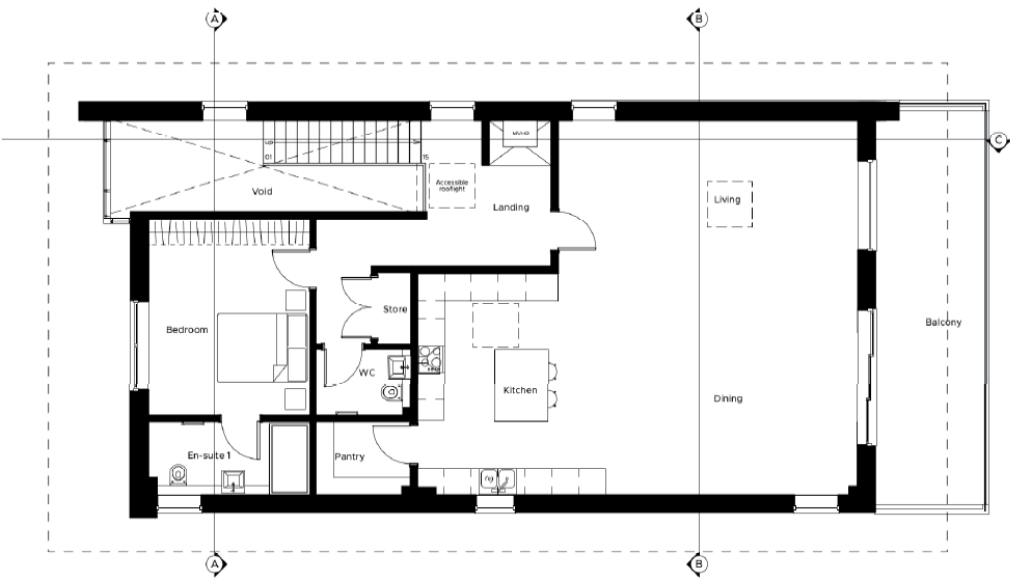
South Elevation
Scale: 1:100



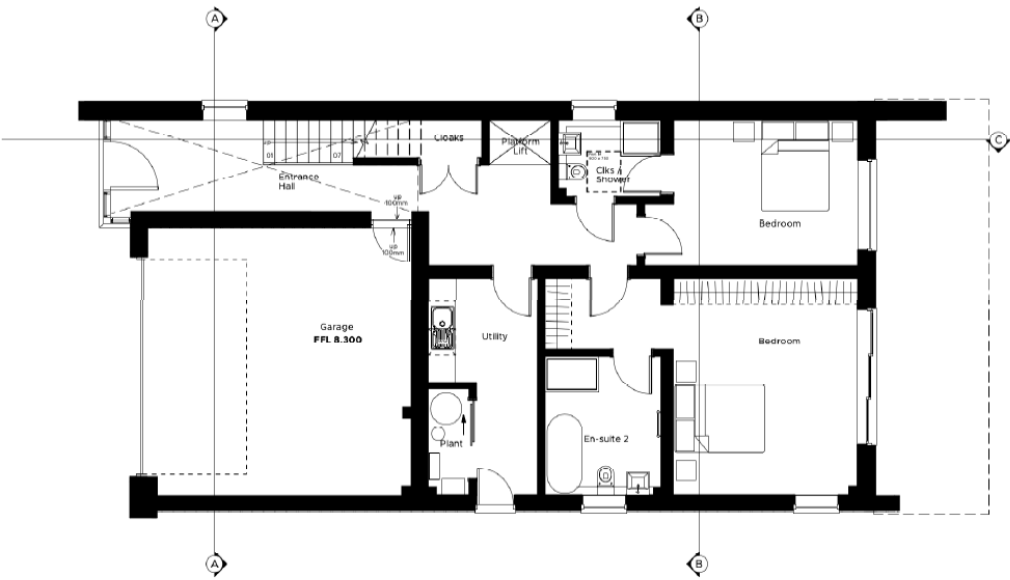
West Elevation
Scale: 1:100



Proposed Plot 2



2 First Floor Plan
Scale: 1:100



1 Ground Floor Plan
Scale: 1:100

Proposed Plot 3



DATUM
+3200

1 South Elevation
Scale: 1:100

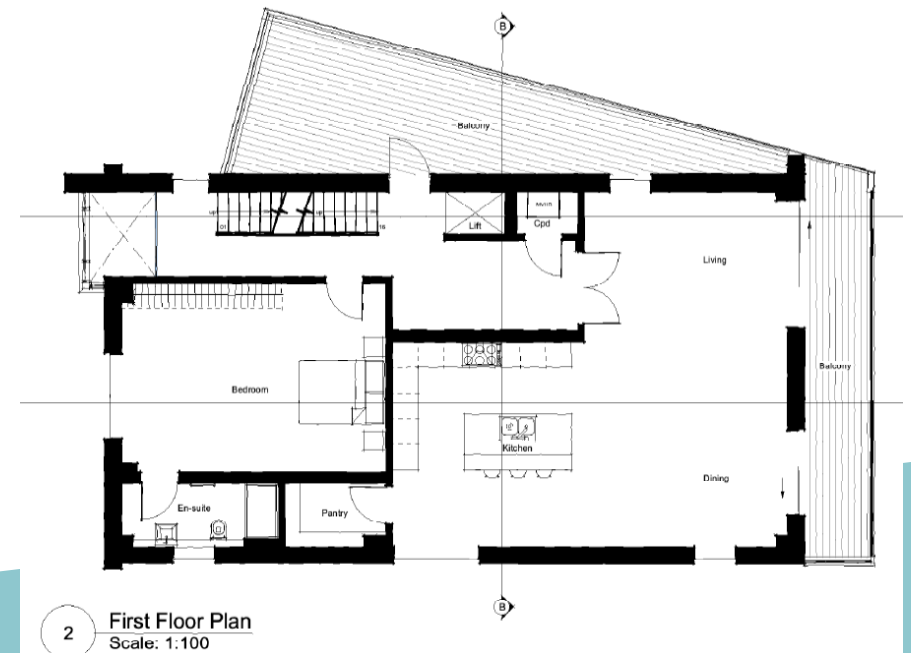
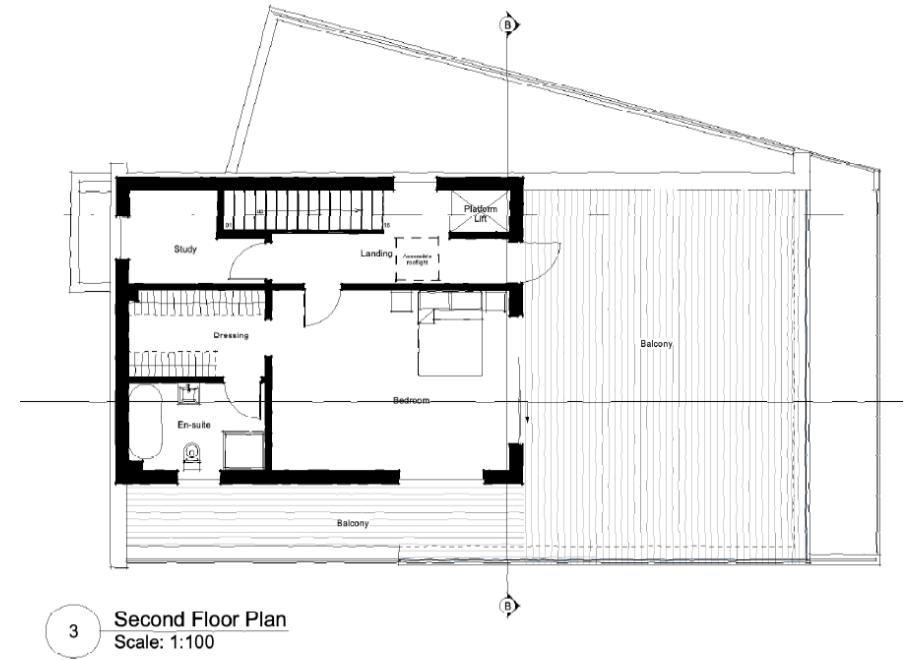
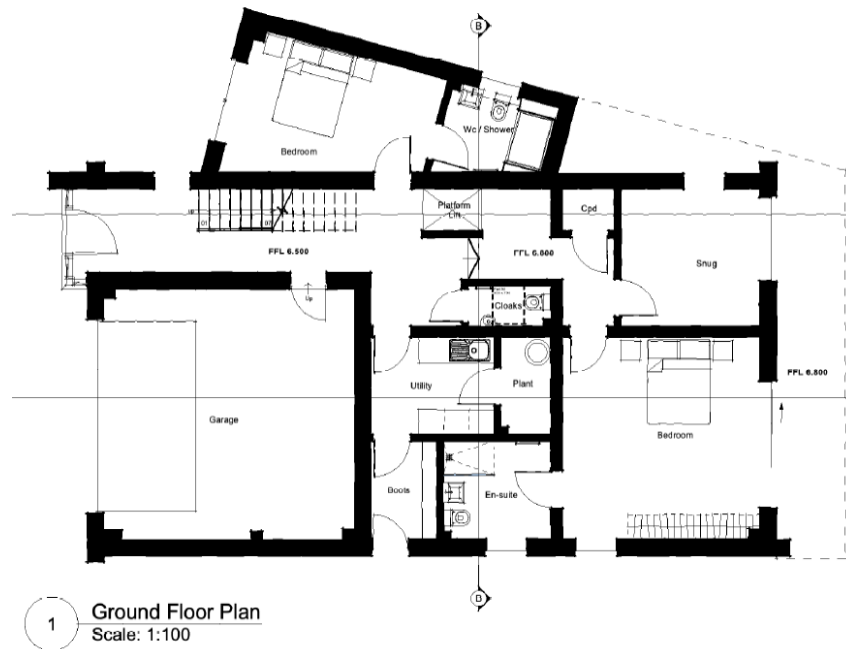


DATUM
+3200

2 West Elevation
Scale: 1:100



Proposed Plot 3



Proposed Plot 4



1 South Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

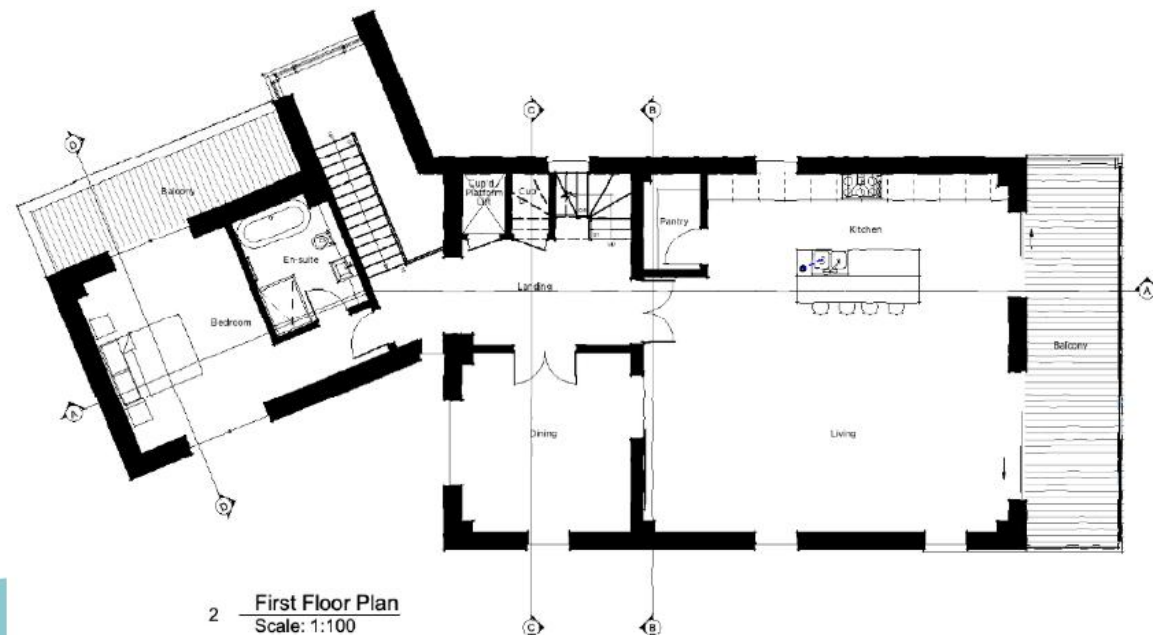
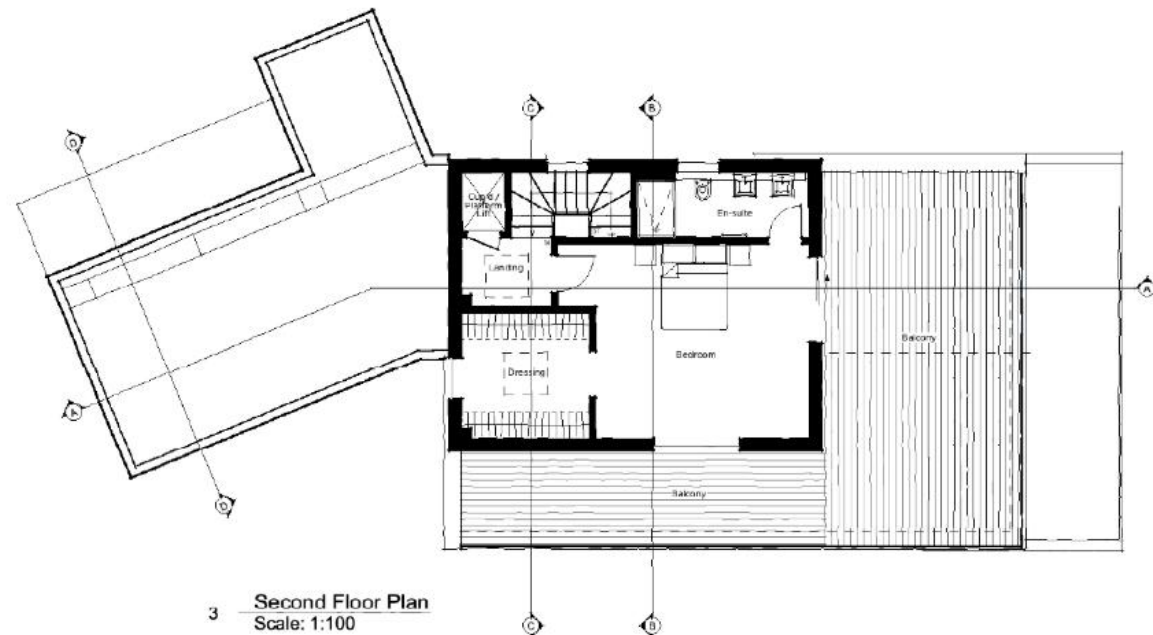
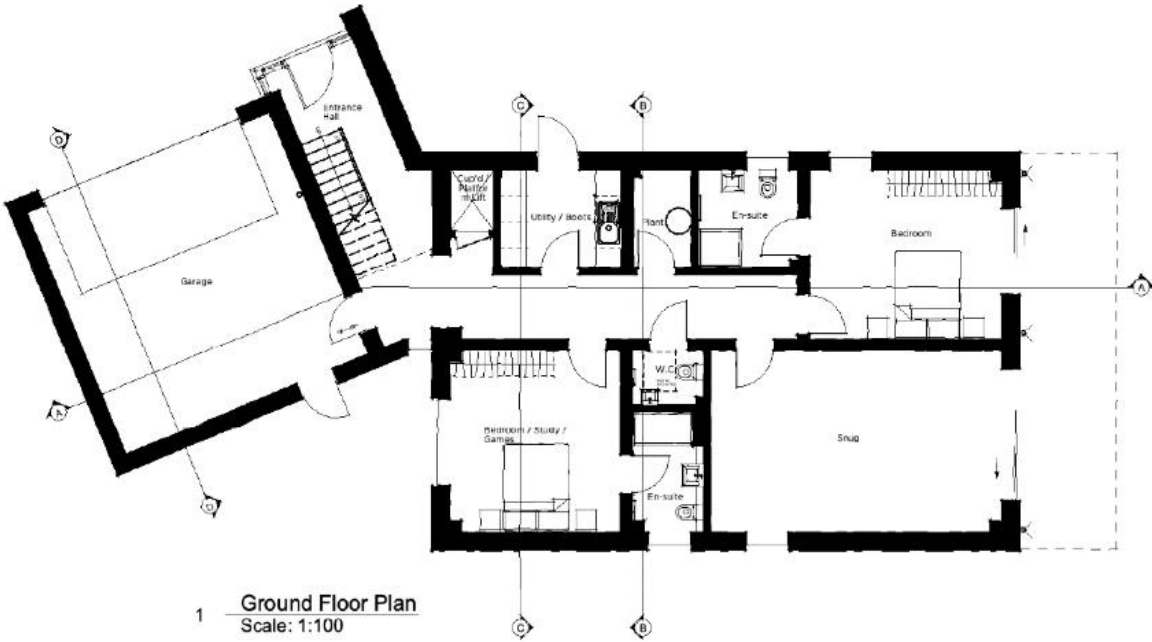


3 North Elevation
Scale: 1:100



4 East Elevation
Scale: 1:100

Proposed Plot 4



Proposed Plot 5



Proposed Plot 5

